

**ORDINANCE OF THE TOWNSHIP OF DEPTFORD AMENDING
THE UNIFIED DEVELOPMENT ORDINANCE OF THE
TOWNSHIP OF DEPTFORD TO ESTABLISH CERTAIN
COMMUNITY DESIGN STANDARDS**

WHEREAS, the Township Council of the Township of Deptford, a municipal corporation in the County of Gloucester, State of New Jersey, finds that an amendment to the Unified Development Ordinance of the Township of Deptford to improve its design standards is appropriate and will guide the development of property in a manner which will promote the public health, safety, morals, and general welfare pursuant to the purposes of *N.J.S.A. 40:55D-2*.

WHEREAS, the Planning Board of the Township of Deptford has adopted a Master Plan that comprehensively provides for the appropriate use, regulation and development of lands in the municipality under *N.J.S.A. 40:55D-28*; and

WHEREAS, the Municipal Land Use Law at *N.J.S.A. 40:55D-62a* requires substantial consistency of the provisions regulating zoning and land use with the adopted Master Plan; and

WHEREAS, the Planning Board has determined that the revisions and amendments to the Unified Development Ordinance are consistent with the Community Design Sub-Element of the Master Plan, represent sound land use regulation and therefore favorably recommends to the Township Council that the regulations be so amended; and

WHEREAS, this amendment not only follows the recommendations of a periodic reexamination of the Master Plan but do not specifically pertain to particular geographic areas represented by the Land Use Plan nor to the classification of districts that would require individual property owner notice pursuant to *N.J.S.A. 40:55D-62.1*.

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Township Council of the Township of Deptford, in the County of Gloucester, State of New Jersey, as follows:

Section 1. Section 27, Off-Street Parking and Circulation, shall be modified by adding standards for pervious surface paving as follows:

§ 27 Off-Street Parking and Circulation

I. Parking Lot Construction Details.

1. Paving standards. Each parking space, parking aisle, drive aisle, driveway and loading zone shall be constructed of a porous or permeable pavement surface, or a bituminous or Portland cement concrete surface, laid over a compacted gravel or crushed stone base course. Porous or permeable pavement shall be the preferred option for office, retail, institutional and residential development, excepting single family detached and single family semi-detached dwellings. Where porous or permeable pavement is not technically feasible as determined by the Board or Township Engineer, the other paving options shall

be permitted as listed below consistent with the intensity of vehicle weight and traffic proposed:

- a. [Unchanged]
- b. [Unchanged]
- c. [Unchanged]
- d. [Unchanged]
- e. Porous or permeable pavement, standard. Parking areas shall consist of a minimum of a five (5) inch thick Hot Mixed Asphalt Open-Graded Friction Course (OGMC) nine and one-half (9.5) millimeter on a bed of one and one-half (1.5) inch thick, a one-quarter ($\frac{1}{4}$) inch Cleaned Washed AASHTO No. 57 Broken Stone Choker Course over a water storage bed consisting of AASHTO No. 2 Clean Washed Broken Stone wrapped in filter fabric. The storage bed thickness shall be based on the storage volume needed per the design engineer subject to Township Engineer or Board Engineer approval. In certain situations, an underdrain may be required where relatively impermeable subgrade soils are encountered (infiltration rate less than two (2) inches per hour) at a depth of four (4) feet or more below the bottom of the stone storage bed. If impermeable subgrade soils are found within four (4) feet or less of the bottom of the storage bed design elevation, same shall be removed and replaced with well-draining material.

Section 2. Article IV, Design and Improvement Standards, §37, General Design Requirements, of the Unified Development Ordinance of the Township of Deptford shall be renamed, Community Design Standards, and modified or added to, as follows:

§ 37 Community Design Standards.

- A. General site design requirements. In addition to applicable requirements in §§27, -29 and -31, the following criteria shall be used to preserve existing trees and other natural site features, create spaces which encourage pedestrian activity and social interaction with appropriate lighting, landscaping and access.
 1. The established grades on the site shall be planned for both aesthetic and drainage purposes. The grading plan, drainage facilities and landscaping shall be coordinated to prevent erosion and silting as well as assuring that the capacity of any natural or man-made drainage system is sufficient to handle the water generated and anticipated both from the site and contributing upstream areas.
 2. A system of sidewalks, walkways and multi-modal pathways shall be developed to provide connection between buildings, common facilities, open space, parking areas and public streets.

3. All forms of pedestrian walkways shall continue uninterrupted across all driveway openings with the apron design accommodating a continuous walkway.
4. Planned residential development should incorporate a coordinated plan of open space including the operation and maintenance of such areas, for common use by the residents and visitors to the development.
5. Steps and ramps shall be used to accommodate grade changes and should be accented with different materials and surface textures where necessary to distinguish public from private spaces.
6. Fences, walls, hedges, landscape edge, or some other design element shall be provided adjacent to the sidewalk, where feasible, to delineate the public sidewalk from front yards of residential units.
7. Sculpture or other public art should be encouraged to supplement site amenities.

B. All Building Types and Uses.

1. All buildings in a development shall be compatibly designed, whether constructed all at one time or in stages over a period of time. All building walls facing any street or residential district line shall be suitably finished for aesthetic purposes.
2. Mass and Proportion. Buildings shall have architectural features and patterns that provide visual interest from the perspective of pedestrians and motorists. Doorways, windows and other openings in the façade of buildings should be proportioned to reflect pedestrian scale.
 - a. Buildings should include substantial variation in mass through the use of the three main elements of base, field or middle, and top in the façade as well as variations in their width.
 - b. The first story of the building should constitute the base of the design for any building three stories or higher.
 - c. The field, or middle, should be differentiated from the base at floor, lintel or sill levels with a belt course, cornice, articulation or other form of horizontal transition line. Cornices may project horizontally from the building wall plane and may be ornamented.
 - d. The top should create an attractive building silhouette and roofline with an architectural cornice, step back, change in scale, materials or textures. Architectural features such as dormers, cupolas, clock towers, cornices, decorative parapets and other similar features are encouraged.
 - e. The building top should take into account the location of plumbing vents, ducts, and other utility structures and be designed to minimize their visual impacts from the view of persons on a public or private street.
 - f. Primary building facades facing a public street should be enhanced by the use of vertical and horizontal elements, such as plinths, pilasters, arches, and cornices.

- b. Operable windows shall be single, double, triple-hung, or casement types.
 - c. The majority of the windows shall be rectangular with a height-to width ratio between 1:1.6 and 1:3.
 - d. Windows shall not be flush mounted to the exterior wall.
 - e. Shutters may be louvered or paneled, but must be sized and shaped to match their associated openings. Shutters should not be paired with oversized windows. Shutters shall not be attached to paired or tripled windows.
6. Lighting. Exterior building lighting should be architecturally integrated with the building's style, materials and color. Lighting should be focused downward to accentuate architectural elements of the building façade and emphasize pedestrian paths and common areas. See §27.G and –H for site and pedestrian way illumination requirements.
 7. Solid waste storage. Trash enclosures shall be enclosed behind an opaque fence or wall at least five (5) feet in height but not less than the height of the dumpster or compactor unless more than eight (8) feet in height, with an opaque self-closing gate. The exterior finish material of the trash enclosure and gate shall be similar to that of the exterior of the principal structure. Trash enclosures shall not be sited within ten (10) feet of any other above ground structures. Trash enclosures shall be sized to encompass the containers/dumpsters/compactors to store the anticipated solid waste and recycling demands of the user(s). Once a trash enclosure has been established and constructed, no dumpster or compactor shall be located outside of such enclosure.
 8. All utility meters or boxes, air compressors, heat pumps, HVAC and other mechanical equipment shall be located at the side or rear of buildings and shall be screened by architectural elements or solid fencing or walls supplemented with plantings. No such equipment shall be permitted in a front yard.
 9. Mechanical equipment placed on the roof shall be screened from view by an enclosure to match the building façade.
 10. Emergency generators shall be located at grade, in the associated building or placed on the roof. Where located at grade, such shall not be in the front yard area and shall be screened from view by a combination of solid fencing and plantings. When placed on the roof it shall be screened from view by an enclosure to match the building façade.

C. General design requirements for non-residential buildings include the following:

1. Outdoor storage. No merchandise, products, materials for sale, manufacturing or assembly, or other objects shall be displayed or stored outside unless specifically permitted by the zoning district where such use is allowed. However, for automotive sales facilities, vehicles capable of moving under their own power may be displayed and stored outside, provided such display is a minimum of fifteen (15) from the right-of-way of any public street and the area of display is delineated and approved by a Board with jurisdiction on a site plan.

2. Outdoor display of retail sales and services supplemental to a retail store. Display of merchandise, products, or offers for the provision of services to customers for sale or rent may occur outdoors under the following requirements:
 - a. The location of shall outdoor display and the proposed hours of display shall be shown on a previously approved site plan or survey, which shall be reviewed by the Township Fire Marshall for life safety purposes, and approved or disapproved as a zoning permit application.
 - b. A maximum of fifty percent (50%) of the length of the facade and fifty percent (50%) of the width designated for pedestrians or (4) four feet, whichever is less, may be utilized for outdoor display in front of the store. No display shall impede the free flow of pedestrian traffic in any sidewalk.
 - c. No entries or exits may be blocked or any display placed within (5) five feet of any such entry or exit.
 - d. Any signage must be printed and similar in design and copy to interior signage and not exceed six (6) sf. in area.
 - e. All outdoor displays must be portable or movable and removed at the end of each business day.
 - f. No outdoor displays or placement of merchandise may be located in any area designated or constructed as a pedestrian or vehicular area except as specified above in –b.2, above.
 - g. The storage and display of products under canopies which are not sprinklered shall be prohibited.

D. Multi-family Buildings. Multi-family building should be designed and sited to create human-scaled space in and around buildings and that integrates with its interior living and common space.

1. Multi-family buildings shall not exceed two hundred forty (240) lineal feet through the long axis of the building. Longer buildings shall introduce at least a 135° angle at the intersection of the axes between different segments of the building.
2. The exterior of the building shall be designed to visually break up any facade in excess of fifty (50) lineal feet.
3. A minimum of a 2-foot deep offset shall be provided in each one hundred (100) lineal feet of facade length.
4. A minimum of one hundred twenty (120) square feet of enclosed storage area shall be provided for each residential unit, including interior and exterior storage for garbage and recyclables, bicycles, garden equipment, and other common household items in an appropriate location.
5. All stairs shall be enclosed within the building.

6. Secure bicycle parking shall be provided in the form of exterior racks, covered exterior racks, exterior lockers or interior bike rooms and may count towards the enclosed storage area in –D.4.
7. Outdoor living space.
 - a. Each residential unit shall have an exterior deck, balcony or terrace of at least sixty (60) square feet in floor area.
 - b. Adequate visual screening from all other neighboring dwelling units, outdoor living spaces, parking areas and roadways shall be provided. Screening may be accomplished with plant materials, masonry structures or wood fencing a minimum of five (5) feet in height.
 - c. Architectural elements used for screening, such as masonry walls and fences, shall be compatible in both style and materials with the building design.

E. Townhouses and stacked townhouses.

1. Townhouse and stacked townhouse developments shall be designed so that each building is oriented with a front façade and yard area that faces a public street. Alleys are encouraged to address motor vehicle storage from rear loaded garages, car sheds, or grouped parking. A yard area between the dwelling(s) and the rear yard parking area shall be at least fifteen (15) feet in depth.
2. Façades shall be distinguished from each other through the use of subtle shifts in front setbacks, variation of front entry types and window details, using a complimentary design vocabulary, and variation in front yard landscape design patterns which may include hedges, fencing and low walls.
3. Dwelling entries such as stoops and porches should be the predominant façade feature and should have a floor dimension that encourages outdoor seating. A single front door entrance may be used on stacked townhouse designs where the entrance leads to an alcove containing the front doors of the two units.
4. The front facades of at least forty percent (40%) of the number of units in a structure shall be set back not less than two (2) feet behind the facades of the remaining units in such structure.
5. A walkway shall be provided between the front or primary door of each unit to the street facing the building.
6. The roof lines of at least thirty percent (30%) of the number of units which are attached in a structure, shall be staggered in height by not less than five percent (5%) of the height of the roof lines of the remaining units in such structure. The roof line may be discontinuous through the combination of two- and three-story units where townhouses and stack townhouses are combined in one overall structure.
7. Chimneys, skylights, dormers, and other roof structures are encouraged to vary the elevation and provide additional light into upper story units.
8. Outdoor living space. Each residential unit shall have an exterior deck, balcony or terrace of at least sixty (60) square feet in floor area.

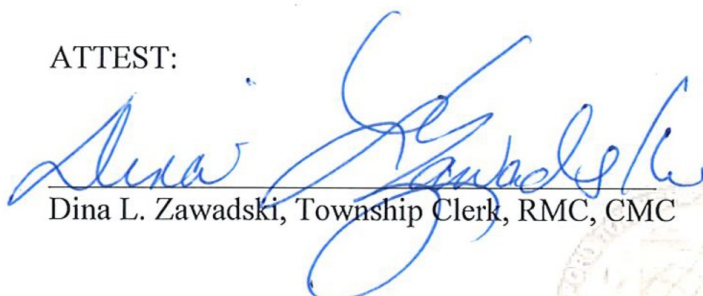
Section 3. Repealer. All Ordinances or parts of Ordinances inconsistent with this Ordinance are hereby repealed to the extent of such inconsistency only.

Section 4. Interpretation. If the terms of this Ordinance shall be in conflict with those of another Ordinance, the provision which imposes the greater restriction or limitation shall control.

Section 5. Severability. If any section, part of any section, or clause or phrase of this Ordinance is for any reason held to be invalid or unconstitutional, such decision shall not affect the remaining provisions of this Ordinance. The governing body of the Township of Deptford declares that it would have passed the Ordinance and each section and subsection thereof, irrespective of the fact that any one or more of the subsections, sentences, clauses or phrases may be declared unconstitutional or invalid.

Section 6. Effective Date. This Ordinance shall take effect immediately upon passage, transmittal to the Gloucester County Planning Board, and publication according to law.

ATTEST:


 Dina L. Zawadski, Township Clerk, RMC, CMC

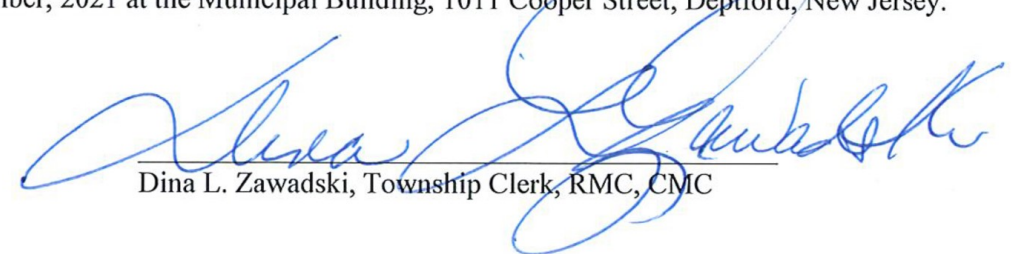
Township of Deptford


 Paul Medany, Mayor



CERTIFICATION

The foregoing Ordinance was introduced at a Council Meeting of Township Council of the Township of Deptford held on the 2nd day of August, 2021 and will be considered for final passage and adoption at a Council Meeting at which time any person interested therein will be given an opportunity to be heard. Said meeting to be held on the 13th day of September, 2021 at the Municipal Building, 1011 Cooper Street, Deptford, New Jersey.


 Dina L. Zawadski, Township Clerk, RMC, CMC

RECORD OF VOTE – Introduction O.16.21					RECORD OF VOTE – Adoption O.16.21				
Council Member	Yes	No	Abstain	Absent	Council Member	Yes	No	Abstain	Absent
Medany	✓				Medany	✓			
Hufnell	✓				Hufnell	✓			
Barnshaw	✓				Barnshaw	✓			
Belling	✓				Belling	✓			
Lamb	✓				Lamb	✓			
Love	✓				Love	✓			
Schocklin	✓				Schocklin	✓			