

ORDINANCE OF THE TOWNSHIP OF DEPTFORD, COUNTY OF GLOUCESTER, STATE OF NEW JERSEY, AMENDING THE UNIFIED ORDINANCE TO ADDRESS THE NEED FOR SUMP PUMP COLLECTORS IN THE TOWNSHIP OF DEPTFORD

WHEREAS, the Township Council of the Township of Deptford finds that the public health, safety, morals and general welfare of the community shall be promoted by the revision and amendment of the Unified Development Ordinance of the Township pertaining to the collection and appropriate direction of storm and ground water, and;

WHEREAS, the Planning Board of the Township of Deptford has adopted a Master Plan that comprehensively provides for the appropriate use, regulation and development of lands in the Township in a manner which will promote the public health, safety, morals and general welfare, and;

WHEREAS, the Municipal Land Use Law, N.J.S.A. 40:55D-62a requires substantial consistency of the provisions regulating zoning and land use with the adopted Master Plan; and

WHEREAS, the Planning Board has determined that the revisions and amendments to the Unified Development Ordinance are technical in nature but that their promulgation comports with the goals and objectives for development in the Master Plan, and;

WHEREAS, this Ordinance does not involve a classification and boundary change requiring individual property owner notice pursuant to N.J.S.A. 40:55D-62.1.

NOW, THEREFORE BE IT ORDAINED, by the Township Council of the Township of Deptford that the Unified Development Ordinance be hereby amended as follows:

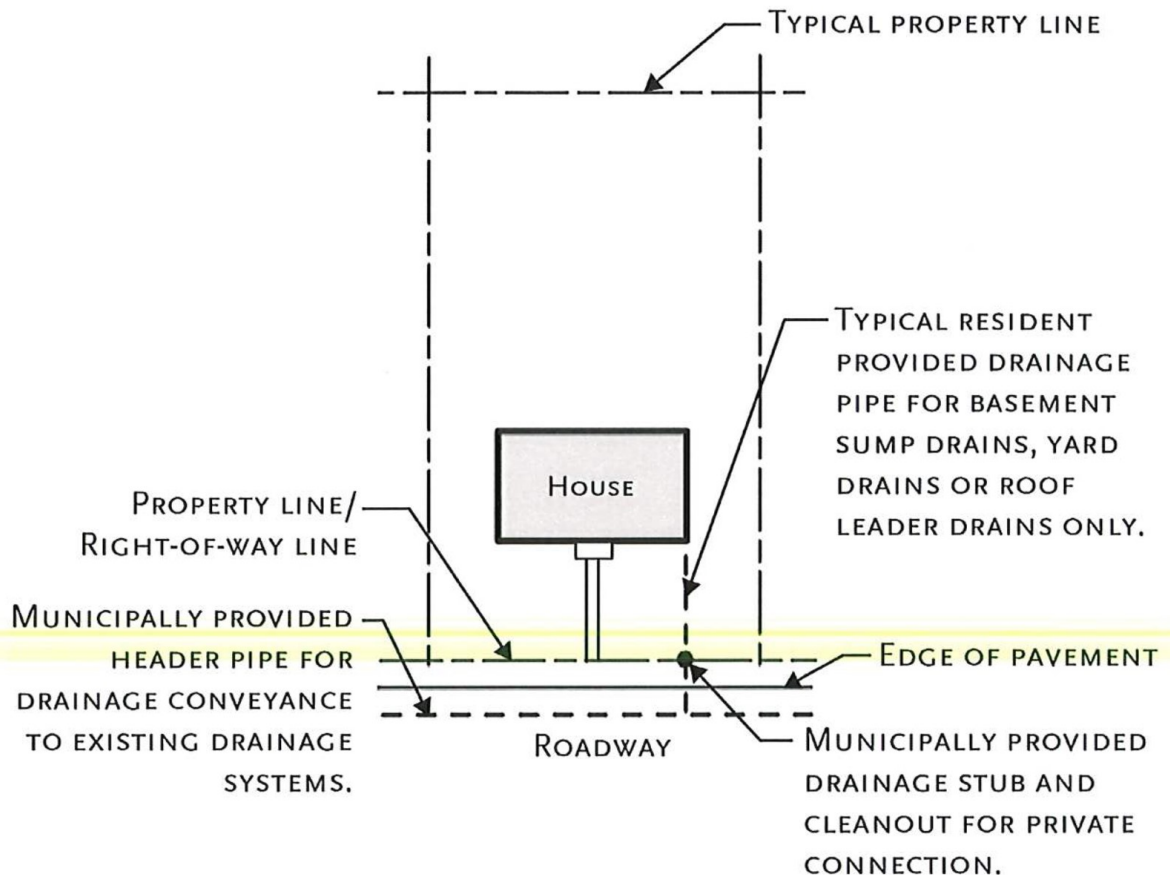
Section 1. §35.10, Maintenance and Repair and §35.11, Penalties [Stormwater Control Only], shall be renumbered §35.11 and §35.12, respectively.

Section 2. There is hereby adopted a new §35.10, entitled, Requirements for Sump Pump Collection System, which shall read as follows:

§ 35.10. Requirements for Sump Pump Collection System.

- A. Major site plan and major subdivision application. Any application for major site plan or subdivision approval in accordance with N.J.S.A. 40:55D-46 and -48 requiring a site development stormwater plan in accordance with §35.9 shall make provision for a collection system that discharges directly into the stormwater utility system. Should the proposed development be designed with slab on grade, or slab on grade beam/pilings, with no basement or crawl space underneath the finished floor, no such collection system shall be required.
- B. In major developments, the collection system shall be designed to accept sump pump discharge and convey it to the stormwater utility system at drainage inlet locations, only. Such system may require a header pipe located behind the sidewalk or under the gutter line of a cartway. Header

pipes may not be located parallel to the sidewalk, curbing or cartway edge in the street tree planting strip. The following exhibit shall be followed in the design of sump pump collector systems or as approved by the Planning or Zoning Board Engineer, as the case may be. In the exhibit, "Municipally Provided" shall also mean developer provided prior to utility acceptance by the municipality. "Resident Provided" shall also mean developer provided prior to the first sale of the dwelling to the homeowner.



- C. Dwelling construction not in a major subdivision development. For the construction of single family homes on lots not associated with a major residential subdivision development, if a basement is proposed, a sump pump drain discharge pipe shall be connected to the existing stormwater utility, or if no such utility is available, a wetland area, dry well or other acceptable method as approved by the Township Engineer.
- D. Prohibited discharge. No roof leader, yard drain, or sump pump discharge line shall be permitted through a curb or the cartway or otherwise directly onto a roadway or pedestrian sidewalk.

Section 3. §44, entitled, Grading Requirements, shall be renamed Grading and Building Elevation Requirements, and amended to add Paragraph F, Basement Floor Elevation:

§44. Grading and Building Elevation Requirements.

[A-E shall remain unchanged]

- F. **Basement Floor Elevation.** The basement floor elevation for new home construction shall be set a minimum of a two (2) above the seasonal high groundwater table (SHWT) elevation as determined by a licensed New Jersey Professional Engineer or Professional Geologist. The SHWT shall be determined based on a test pit excavation or soil boring conducted within twenty-five (25) feet of the proposed dwelling's exterior foundation wall. Where warranted based on known site characteristics such as an NRCS soil survey, freshwater and riparian wetlands mapping or other factors, the test may be witnessed by the Township Engineer or delegated official.

Section 4. Repealer. All Ordinances or parts of Ordinances inconsistent with this Ordinance are hereby repealed to the extent of such inconsistency only.

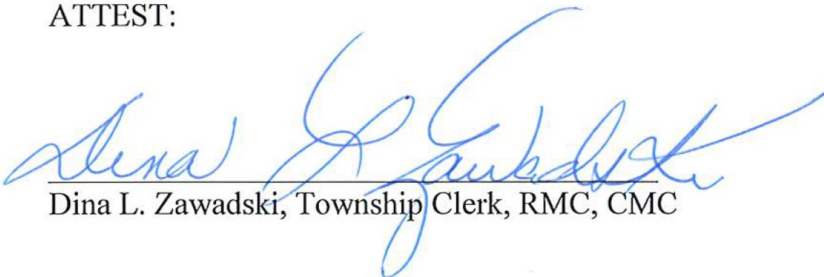
Section 5. Interpretation. If the terms of this Ordinance shall be in conflict with those of another Ordinance, the provision which imposes the greater restriction or limitation shall control.

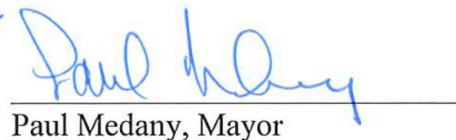
Section 6. Severability. If any section, part of any section, or clause or phrase of this Ordinance is for any reason held to be invalid or unconstitutional, such decision shall not affect the remaining provisions of this Ordinance. The governing body of the Township of Deptford declares that it would have passed the Ordinance and each section and subsection thereof, irrespective of the fact that any one or more of the subsections, sentences, clauses or phrases may be declared unconstitutional or invalid.

Section 7. Effective Date. This Ordinance shall take effect immediately upon passage, transmittal to the Gloucester County Planning Board, and publication according to law.

ATTEST:

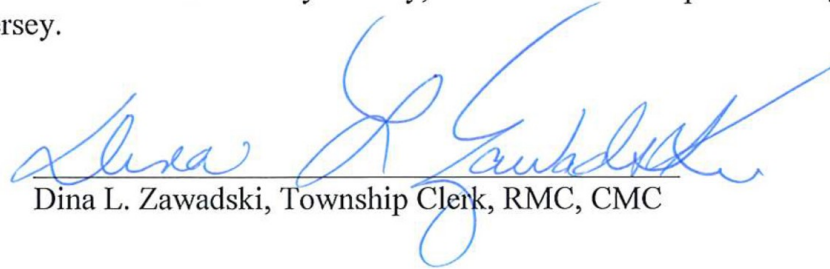
Township of Deptford


Dina L. Zawadski, Township Clerk, RMC, CMC


Paul Medany, Mayor

CERTIFICATION

The foregoing Ordinance was introduced at a Work Session Meeting of Township Council of the Township of Deptford held on the 18th day of April, 2022 and will be considered for final passage and adoption at a Council Meeting at which time any person interested therein will be given an opportunity to be heard. Said meeting to be held on the 2nd day of May, 2022 at the Municipal Building, 1011 Cooper Street, Deptford, New Jersey.


 Dina L. Zawadski, Township Clerk, RMC, CMC

RECORD OF VOTE – Introduction O.7.22					RECORD OF VOTE – Adoption O.7.22				
Council Member	Yes	No	Abstain	Absent	Council Member	Yes	No	Abstain	Absent
Medany	✓				Medany	✓			
Hufnell	✓				Hufnell	✓			
Barnshaw	✓				Barnshaw	✓			
Belling	✓				Belling	✓			
Lamb	✓				Lamb				✓
Love	✓				Love	✓			
Schocklin	✓				Schocklin	✓			

