

**ORDINANCE
AMENDING THE
UNIFIED DEVELOPMENT ORDINANCE (UDO)
OF THE TOWNSHIP OF DEPTFORD
COUNTY OF GLOUCESTER, STATE OF NEW JERSEY
TO MODIFY SECTION 31, LANDSCAPE, BUFFER
AND TREE PROTECTION STANDARDS**

WHEREAS, the Municipal Land Use Law, *N.J.S.A. 40:55D-1 et seq.*, confers power to a municipality to regulate the use of lands within the jurisdiction of Deptford Township; and

WHEREAS, it has been determined by Deptford Township Council that the implementation of general revisions to the regulations and other provisions of the Unified Development Ordinance would effectuate the intent and purpose of the goals and objectives of the Master Plan of the Township of Deptford; and

WHEREAS, the Municipal Land Use Law requires that any amendments or revisions to Deptford Township's Unified Development Ordinance shall be reviewed by the Planning Board to determine if said amendments or revisions are substantially consistent with the Land Use Plan Element of the Master Plan of the Township of Deptford; and

WHEREAS, the Planning Board of the Township of Deptford finds that the ordinance modifications are consistent with the intent and purpose of the Master Plan; and

NOW, THEREFORE, BE IT ORDAINED, by the Township Council of the Township of Deptford that the Unified Development Ordinance (UDO) be hereby amended as follows:

Section 1. §6, Definitions, shall be amended by adding and modifying the following.

Aesthetic Improvement Cut - The removal, to the minimum extent possible, of the smallest and poorest trees so as to permit land development while retaining the maximum number of larger and healthier trees.

Tree Mass – Six (6) or more trees each with a minimum diameter breast height of four (4) inches or greater forming a common drip line encompassing at least six hundred (600) square feet in area.

Section 2. §6, Definitions, shall be modified by repealing the definition of “Non-Specimen Tree”.

Section 3. §26, Streets, shall be amended by revising subsections –G and –H as follows:

G. Utility areas.

1. Utilities shall generally be located in a utility easement adjacent to the edge of the right-of-way in the front yard area of adjoining lots. In general, this easement should contain electrical power and telecommunications cable but may contain other utilities. Other utilities such as public water, public sanitary and storm sewers and natural gas distribution shall generally be located underneath the cartway except in unusual circumstances. The minimum width of the easement shall be ten (10) feet but shall be wide enough to accommodate the utilities proposed in the development in accordance with utility company requirements.

2. [No change]

H. Shade tree easements. Shade tree easements may be required where the planting strip between the sidewalk and curb is less than five (5) feet in width. For subdivisions with required building setbacks that establish a front yard, shade tree easements shall be required where the planting strip is less than five (5) feet in width. In locations where the installation of sidewalk in the right-of-way would result in a planting strip less than five (5) feet in width, the sidewalk may be wholly or partially located in a pedestrian access easement adjacent and parallel to the right-of-way. Any necessary utility easement in this circumstance shall be located adjacent and parallel to the pedestrian access easement on the side most distant from the right-of-way. Dual purpose easements for utility and pedestrian access easements shall be permitted. In commercial areas where wider sidewalks and tree wells may be used, no shade tree easement will be required if sufficient volume for a tree well is provided in accordance with §31.C. The shade tree easement shall be located adjacent and parallel to the public or private right-of-way and shall be a minimum of ten (10) feet in width. In the event that a shade tree easement is necessitated by such circumstances, the utility area for electricity and other cabling, as indicated in paragraph –G, above, shall be located between the curb and sidewalk or in a second easement between the shade tree easement and the building. The minimum width of the easement shall be ten (10) feet but shall be wide enough to accommodate the utilities proposed in the development in accordance with utility company requirements.

Section 4. §31, Landscape, Buffer and Tree Protection Standards, shall be renamed Landscaping, Streetscape and Tree Protection Standards and modified in its entirety as follows:

§31. Landscaping, Streetscape and Tree Protection Standards.

- A. General Requirements for Landscaping. The following general requirements shall apply to the installation and design of landscapes and shall be the minimum necessary to promote aesthetic and pleasing views and the general welfare:
1. All land areas not covered with buildings, parking, or other impervious surfaces shall be landscaped with suitable materials. Landscaping shall consist of trees, shrubs, ground cover, perennials, and annuals singly or in combination and may include inanimate materials such as rocks, water, sculpture, art, walls, fences, and paving materials.
 2. A landscape design shall be provided as part of site plan and subdivision submissions in accordance with the provisions of this ordinance. Every applicant for subdivision or site plan approval shall comply with the minimum standards as set forth in this section.
 3. The Board of Jurisdiction may require additional landscaping beyond the requirements herein in order to create a desirable visual environment and an appropriate landscaping scheme for the site given the existing conditions and the proposed development.
 4. Where an application for development is for a residential subdivision only, the minimum standards shall apply only to street trees and to common open space, storm water management facilities and areas proposed to be dedicated to the public; however, additional plantings or landscaping elements shall be required in the subdivision where necessary for climate control, reduce energy consumption, to create privacy, and to screen ground-mounted utilities.
 5. All landscape plants shall be typical in size and weight for their species and shall conform to the standards of the American Association of Nurserymen for quality and installation.
 6. All plants shall be tolerant of specific site conditions. The use of indigenous species is strongly encouraged. No plant may be installed that is listed as an invasive alien species in NJDEP's *Overview of Nonindigenous Plant Species in New Jersey* (February 2004), as it may be amended or superseded.
 7. Landscape screening is required to visually buffer all trash enclosures, above ground propane tanks, utility boxes, ground-mounted HVAC equipment and other similar structures.
 8. Plants with pervasive root systems shall not be located where they may cause damage to drainage pipes or other underground utilities and storm water management facilities and should generally be planted no closer than ten (10) feet measured horizontally from such underground utility.

B. Design Guidelines. The following guidelines shall be followed in the design of landscaping and streetscape plans.

1. In the design of a landscape plan, plantings shall be provided in the varieties, quantities and site locations necessary to:
2. Reduce glare and reflection;
3. Buffer noise and objectionable views;
4. Complement or improve upon existing landscaping on adjoining properties;
5. Provide moisture retention, soil stabilization, wind breaks and air purification;
6. Moderate ground surface, building and stream water temperatures; and
7. Provide seasonal color variety.
8. In the landscape design of sites, areas shall be designated for retaining existing trees and the replacement of trees cleared from the site in accordance with §31.L.
9. Landscaping shall be located to provide effective climatic control. The east and west walls of a building should be the most heavily vegetated to shade for summer sun and the north to northwest area for winter prevailing winds. The southerly facing side of a building should be shaded from summer sun but open for solar gain during the winter.
10. Plant's susceptibility to disease, their colors, textures, shapes, blossoms, and foliage characteristics shall be considered in the overall design of a landscape plan.
11. Local soil conditions and water availability shall be considered in the choice of landscaping.
12. In the design process, the eventual maturity of the plant shall be considered for its effect on circulation patterns, solar access, site lighting, drainage, emergency access and relationship to buildings and the streetscape.

C. Tree and Shrub Requirements.

1. Street Trees. When new streets are proposed, street trees shall be installed on both sides of all streets in accordance with an approved landscape plan. Street trees shall be provided along all street frontages lacking existing trees that meet the standards herein whenever an application for development is submitted and approved. However, street trees shall not be required along the frontage of a limited access highway (*see* Tables 3.17 and 3.18 for buffering requirements adjacent to limited access highways). Trees shall be spaced

evenly along the street between the curb and sidewalk. Where the distance between the curb and sidewalk is less than five (5) feet, sidewalks should be placed in a public access easement outside of the right-of-way to create a planting strip at least five (5) feet wide to facilitate street tree growth in accordance with §26.H. In commercial areas with wider sidewalks that extend to the curb, trees shall be placed in tree wells with root guard systems. Such tree wells shall have sufficient soil volume to support tree growth as follows:

<u>Tree Size at Maturity (Height in feet)</u>	<u>Soil Volume (in cubic feet)</u>
Large trees (45'+)	200
Medium-sized trees (30'-45')	150
Small trees (to 30')	100

Areas under sidewalks may be used to meet the soil volume requirement provided no more than 50% of the volume is located under such hard paving.

2. Spacing. When trees are planted at predetermined intervals along streets, spacing shall depend on tree size.

<u>Tree Size at Maturity (Height in feet)</u>	<u>Planting Interval (in feet)</u>
Large trees (45'+)	40
Medium-sized trees (30'-45')	30
Small trees (to 30')	20

Trees may be planted closer together in order to avoid interference with utilities, roadways, sidewalks, sight easements, street lights and street furniture.

3. Street tree type. Tree type may vary depending on overall effect desired but as a general rule, all trees shall be large deciduous trees except as needed to achieve special effects. Tree selection shall be approved by the Board of Jurisdiction in accordance with Tables 31.1, 31.2 and 31.3. Alternate selections may be approved at the discretion of the Board of Jurisdiction. Within any landscape design, oaks shall be limited to no more than fifteen percent (15%) of the total number of trees to limit the incidence of bacterial leaf scorch disease.

Table 31.1 Recommended Small Street Trees.

Botanical Name	Common Name	Minimum Planting Size
<i>Acer campestre</i>	Hedge Maple	2½" -3" cal.
<i>Acer ginnala</i>	Amur Maple	2½" -3" cal.
<i>Amelanchier x hydrida 'Cumulus'</i>	Cumulus Shadblow	2-2½" cal.
<i>Acer buergeranum</i>	Trident Maple	2½" -3" cal.
<i>Crataegus phaenopyrum 'Princeton Sentry'</i>	Princeton Sentry Hawthorne	2½" -3" cal.
<i>Crataegus viridis 'Winter King'</i>	Winter King Hawthorne	2½" -3" cal.
<i>Magnolia x lobneri 'Merrill'</i>	Merrill Magnolia	10'-12' ht.
<i>Malus baccata 'Jackii'</i>	Jackii Crabapple	2"-2½" cal.
<i>Malus x zumi 'Calocarpa'</i>	Zumi Crabapple	2"-2½" cal.
<i>Syringa reticulata</i>	Japanese Tree Lilac	10'-12' ht.

Table 31.2 Recommended Medium Street Trees.

Botanical Name	Common Name	Minimum Planting Size
<i>Acer saccharum 'Legacy'</i>	Legacy Sugar Maple	2½" -3" cal.
<i>Celtis bungeana</i>	Bunge Hackberry	2½" -3" cal.
<i>Cladratis lutea</i>	Yellowwood	2" -2½" cal.
<i>Carpinus caroliniana</i>	American Hornbeam	2½" -3" cal.
<i>Malus baccata 'Robinson'</i>	Robinson Crabapple	2½" -3" cal.
<i>Phellodendron amurense</i>	Amur Corktree	2½" -3" cal.
<i>Tilia cordata x. 'Shamrock'</i>	Shamrock Linden	2½" -3" cal.

Table 31.3 Recommended Large Street Trees.

Botanical Name	Common Name	Minimum Planting Size
<i>Acer rubrum 'October Glory'</i>	October Glory Red Maple	2½"-3" cal.
<i>Acer rubrum 'Red Sunset'</i>	Red Sunset Red Maple	2½" -3" cal.
<i>Celtis occidentalis 'Magnifica'</i>	Hackberry	2½" -3" cal.
<i>Ginkgo biloba (male only)</i>	Ginkgo	2½" -3" cal.
<i>Platanus acerifolia 'Bloodgood'</i>	Bloodgood London Plane	2½" -3" cal.
<i>Platanus occidentalis</i>	Sycamore	2½" -3" cal.

<i>Quercus coccinea</i>	Scarlet Oak	2½" -3" cal.
<i>Quercus marcocarpa</i>	Bur Oak	2½" -3" cal.
<i>Quercus phellos</i>	Willow Oak	2½" -3" cal.
<i>Quercus rubra</i>	Red Oak	2½" -3" cal.
<i>Sophora japonica</i> 'Regent'	Scholartree	2½" -3" cal.
<i>Tilia tomentosa</i> 'Green Mountain'	Silver linden	2½" -3" cal.
<i>Ulmus parvifolia</i>	Chinese elm	2½" -3" cal.
<i>Zelkova serrata</i> 'Village Green'	Village Green zelkova	2½" -3" cal.

4. Additional Recommended Trees. Any of the trees noted in Tables 31.1, 31.2 and 31.3 may be used in the design of landscapes as well as their use as street trees. The following trees are recommended for site development purposes:

Table 31.4 Additional Recommended Trees.

Botanical Name	Common Name	Minimum Planting Size
<i>Acer palmatum</i>	Japanese Maple	6'-7'
<i>Acer saccharum</i>	Sugar Maple	2½"-3" cal.
<i>Cedrus atlantica glauca</i>	Blue Atlas Cedar	6'-8'
<i>Cercidiphyllum japonicum</i>	Katsura-tree	2½"-3" cal.
<i>Cercis canadensis</i>	Eastern Redbud	6'-7'
<i>Chionanthus virginicus</i>	Fringe Tree	6'-7'
<i>Cornus kousa</i>	Chinese Dogwood	2"-2½" cal.
<i>Crataegus crusgalli inermis</i>	Thornless Cockspur Hawthorn	2"-2½" cal.
<i>Cryptomeria japonica</i>	Cryptomeria	5'-6'
<i>Fagus grandifolia</i>	American Beech	2½"-3" cal.
<i>Fagus atropinicea</i>	Copper Beech	2½"-3" cal.
<i>Gleditsia triacanthos inermis</i> 'Halka' or 'Skyline'	Halka or Skyline Honeylocust	2½"-3" cal.
<i>Ilex opaca</i>	American Holly	6'-7'
<i>Koelreuteria paniculata</i>	Golden Rain Tree	2"-2½" cal.
<i>Liquidambar styraciflua</i>	Sweetgum	2½"-3" cal.
<i>Liriodendron tulipifera</i>	Tulip Poplar	2"-2½" cal.
<i>Metasequoia glyptostroboides</i>	Dawn Redwood	8'-10'

<i>Oxydendrum arboreum</i>	Sourwood	6'-7'
<i>Picea abies (excelsa)</i>	Norway Spruce	5'-6'
<i>Picea omorika</i>	Serbian Spruce	5'-6'
<i>Pinus strobus</i>	White Pine	5'-6'
<i>Pinus thunbergiana</i>	Japanese Black Pine	5'-6'
<i>Pinus virginiana</i>	Virginia Pine	5'-6'
<i>Populus balsamifera</i>	Balsam Poplar	2½"-3" cal.
<i>Prunus cerasifera</i>	Flowering Plum	2"-2½" cal.
<i>Prunus sargentii</i>	Sargent Cherry	2"-2½" cal.
<i>Prunus serrulata</i>	White Cherry	2"-2½" cal.
<i>Pseudolarix kaempferi</i>	Golden Larch	8'-10'
<i>Pseudotsuga menziesii</i>	Douglas Fir	5'-6'
<i>Quercus acutissima</i>	Sawtooth Oak	2½"-3" cal.
<i>Quercus palustris</i>	Pin Oak	2½"-3" cal.
<i>Tilia cordata 'Greenspire'</i>	Greenspire Linden	2½"-3" cal.
<i>Tilia tomentosa 'Green Mountain'</i>	Silver Linden	2½"-3" cal.
<i>Tsuga canadensis</i>	Canadian Hemlock	5'-6'
<i>Ulmus americana 'Delaware'</i>	American Elm, 'Delaware'	2½"-3" cal.

5. Fall planting hazard. Certain trees have been identified as having a high degree of transplantation failure if planted during the fall season. These should be noted on the landscape plan for "Spring Planting Season Only". These include all trees in the genus *Betula*, *Carpinus*, *Crataegus*, *Pyrus*, *Quercus*, excluding *Q. Palustris*, *Zelkova* and the species *Ilex opaca*, *Liquidambar styraciflua*, *Liriodendron tulipifera*, *Salix babylonica* and *Tilia tomentosa*.
6. Recommended shrubs. The following shrubs are recommended for use in the Township:

Table 31.5 Recommended Shrubs.

Botanical Name	Common Name	Minimum Planting Size
<i>Abelia grandiflora</i>	Glossy Abelia	18"-24"
<i>Aronia arbutifolia brilliantissima</i>	Red Chokeberry	2'-3'
<i>Azalea delaware valley</i>	Delaware Valley Azalea	18"-24"
<i>Azalea exbury</i>	Exbury Azalea	18"-24"
<i>Azalea hino-crimson</i>	Hino-Crimson Azalea	18"-24"
<i>Azalea stewartsonia</i>	Stewartson Azalea	18"-24"
<i>Berberis julianae</i>	Wintergreen Barberry	18"-24"
<i>Clethra alnifolia</i>	Summersweet	15"-18"
<i>Cornus alba sibirica</i>	Siberian Dogwood	3'-4'
<i>Cornus stolonifera lutea</i>	Yellowtwig	3'-4'
<i>Cotoneaster apiculata</i>	Cranberry Cotoneaster	15"-18"
<i>Cotoneaster salicifolia repens</i>	Park Carpet Cotoneaster	15"-18"
<i>Deutzia gracilis</i>	Slender Deutzia	18"-24"
<i>Euonymus fortunei vegetus</i>	Bigleaf Wintercreeper	18"-24"
<i>Fothergilla gardenii</i>	Dwarf Fothergilla	15"-18"
<i>Fothergilla major</i>	Large Fothergilla	15"-18"
<i>Hamamelis virginiana</i>	Witchhazel	4'-5'
<i>Hibiscus syriacus</i>	Rose of Sharon	18"-24"
<i>Hydrangea paniculata grandiflora</i>	PeeGee Hydrangea	18"-24"
<i>Hydrangea quercifolia</i>	Oak Leaf Hydrangea	3'-4'
<i>Ilex crenata hellerei</i>	Dwarf Japanese Holly	18"-24"
<i>Ilex glabra</i>	Inkberry	18"-24"
<i>Ilex glabra compacta</i>	Compact Inkberry	18"-24"
<i>Juniperus chinensis glauca hetzi</i>	Hetz Juniper	2'-3'
<i>Juniperus chinensis pfizeriana compacta</i>	Compact Pfitzer Juniper	18"-24"
<i>Juniperus chinensis torulosa</i>	Torulosa Juniper	4'-5'
<i>Juniperus horizontalis bar harbor</i>	Bar Harbor Juniper	18"-24"
<i>Juniperus horizontalis plumosa</i>	Andorra Juniper	18"-24"
<i>Juniperus horizontalis wiltoni</i>	Blue Rug Juniper	18"-24"

<i>Juniperus sargentii</i>	Sargent Juniper	15"-18"
<i>Kalmia latiflora</i>	Mountain Laurel	15"-18"
<i>Leucothoe axillaris</i>	Coast Leucothoe	18"-24"
<i>Ligustrum ibolium</i>	Ibolium Privet	2'-3'
<i>Lonicera fragrantissima</i>	Winter Honeysuckle	2'-3'
<i>Magnolia soulangiana</i>	Saucer Magnolia	8'-10'
<i>Magnolia stellata</i>	Star Magnolia	6'-8'
<i>Magnolia virginiana</i>	Sweetbay Magnolia	6'-8'
<i>Myrica pensylvanica</i>	Northern Bayberry	4'-5'
<i>Philadelphus virginalis</i>	Virginal Mockorange	2'-3'
<i>Picea excelsa nidiformis</i>	Birdnest spruce	#1 can
<i>Pieris japonica</i>	Japanese Andromeda	15"-18"
<i>Pinus montana mughus</i>	Mugho Pine	18"-24"
<i>Potentilla fruticosa</i>	Bush Cinquefoil	15"-18"
<i>Pyracantha fiery cascade</i>	Fiery Cascade Firethorn	18"-24"
<i>Rhododendron catawbiense</i>	Catawba Rhododendron	2'-3'
<i>Rhododendron maximum roseum</i>	Rosebay Rhododendron	2'-3'
<i>Spirea vanhouttei</i>	Vanhoutte Spirea	3'-4'
<i>Spirea bumalda 'anthony waterer'</i>	Anthony Waterer Spirea	18"-24"
<i>Spirea nipponica 'Snowmound'</i>	Snowmound Spirea	18"-24"
<i>Syringa vulgaris</i>	Common Purple Lilac	5'-6'
<i>Taxus baccata repandens</i>	English Yew	18"-24"
<i>Taxus cuspidata densiformis</i>	Dense Yew	3'-4'
<i>Taxus media hicksi</i>	Hicks Yew	18"-24"
<i>Thuja occidentalis nigra</i>	Dark American Arborvitae	5'-6'
<i>Viburnum burkwoodi</i>	Burkwood Viburnum	18"-24"
<i>Viburnum carlesii</i>	Fragrant Viburnum	3'-4'
<i>Viburnum dentatum</i>	Arrowwood	2'-3'
<i>Viburnum pragense</i>	Prague Viburnum	3'-4'
<i>Viburnum rhytidophyllum</i>	Leatherleaf Viburnum	5'-6'
<i>Viburnum tomentosum</i>	Doublefile Viburnum	5'-6'

7. Recommended Plants for Wet Conditions. The following plants are recommended for wetlands, flood plains, and stormwater management facilities:

Table 31.6 Trees and Shrubs Recommended for Wet Conditions.

Botanical Name	Common Name	Minimum Planting Size
<i>Acer negundo</i>	Boxelder	2"-2½" cal.
<i>Acer rubrum</i>	Red Maple	2½"-3" cal.
<i>Acer saccharinum</i>	Silver Maple	2½"-3" cal.
<i>Alnus serrulata</i>	Smooth Alder	2"-2½" cal.
<i>Amelanchier alleghiensis</i>	Allegheny Serviceberry	2"-2½" cal.
<i>Amelanchier canadensis</i>	Shadblow (Downy Serviceberry)	2"-2½" cal.
<i>Aronia arbutifolia</i>	Red Chokeberry	2'-3'
<i>Aronia melanocarpa</i>	Black Chokeberry	2'-3'
<i>Betula nigra</i>	River Birch	10'-12'
<i>Betula populifolia</i>	Gray Birch	10'-12'
<i>Cephalanthus occidentalis</i>	Buttonbush	2'-3'
<i>Clethra alnifolia</i>	Summersweet	18"-24"
<i>Cornus amomum</i>	Silky Dogwood	3'-4'
<i>Cornus sericea</i>	Red Osier Dogwood	3'-4'
<i>Fraxinus pennsyanicum</i>	Green Ash	2½"-3" cal.
<i>Ilex glabra</i>	Inkberry Holly	18"-24"
<i>Ilex verticillata</i>	Winterberry Holly	18"-24"
<i>Itea virginica</i>	Virginia Sweetspire	12"-15"
<i>Lindera benzoin</i>	Spicebush	18"-24"
<i>Liquidambar styraciflora</i>	Sweetgum	2½"-3" cal.
<i>Magnolia virginiana</i>	Sweetbay magnolia	6'-8'
<i>Nyssa sylvatica</i>	Black Gum (Tupelo)	2"-2½" cal.
<i>Platanus occidentalis</i>	Sycamore	3"-3½" cal.
<i>Quercus bicolor</i>	Swamp White Oak	2½"-3" cal.
<i>Quercus palustris</i>	Pin Oak	2½"-3" cal.
<i>Rhododendron viscosum</i>	Swamp Azalea	18"-24"
<i>Rosa palustris</i>	Swamp Rose	18"-24"

<i>Salix discolor</i>	Pussy Willow	3'-4'
<i>Salix babylonica</i>	Weeping Willow	2½"-3" cal.
<i>Salix nigra</i>	Black Willow	2"-2½" cal.
<i>Sambucus canadensis</i>	Elderberry	2'-3'
<i>Vaccinium corymbosium</i>	Highbush Blueberry	2'-3'
<i>Viburnum dentatum</i>	Arrowwood Viburnum	2'-3'

- D. Buffers and Berms. Landscaping buffers are required to minimize and visually screen any adverse impacts or nuisances on a site or from any adjacent area. Berms may be used to achieve buffering effects in accordance with the regulations herein.
1. General requirements. Landscape buffers shall consist of a combination of deciduous trees, conifers, shrubs, berms, and if appropriate, fences or walls in sufficient quantities and sizes to perform their necessary screening function.
 2. Buffers may be installed in required yard areas except for reverse frontage buffers where they shall be in addition to the required rear yard depth. Reverse frontage screening shall be required where the rear or side yards of residential dwellings or lots abut any arterial or major collector street. The minimum width of a landscape buffer for a reverse frontage residential lot shall be 15 feet. Fencing and walls shall not be permitted in a reverse frontage landscape buffer. See §40, Reverse Frontage Lots, for additional requirements.
 3. Buffers shall be continuous except for access drives as approved by the Board of Jurisdiction. Storm water management facilities, parking, dumpster enclosures, accessory buildings or above ground structures, and similar encroachments shall not be permitted in the required buffer area.
 4. The minimum width of a landscape buffer shall be determined by the proposed use of a property and the land uses and zoning district adjacent to it in accordance with Table 31.7, unless a specific standard is established within a particular zoning district.

Table 31.7 Required Minimum Buffer Widths.

Proposed Land Use	Adjacent Land Uses									
	Agriculture	Residential Type A ⁽¹⁾	Residential Type B ⁽²⁾	Retail	Professional Office	Other Office	Institutional/Quasi-public	Industrial	Limited Access Highway	
Agriculture	None	75 ft.	100 ft.	50 ft.	50 ft.	50 ft.	50 ft.	50 ft.	None	None
Residential Type A ⁽¹⁾	75 ft.	None	25 ft.	40 ft.	25 ft.	50 ft.	50 ft.	100 ft.	50 ft.	50 ft.
Residential Type B ⁽²⁾	75 ft.	50 ft.	None	25 ft.	25 ft.	50 ft.	50 ft.	100 ft.	50 ft.	50 ft.
TC-1/TC-2 Zone Uses	25 ft.	20 ft.	20 ft.	None	15 ft.	None	15 ft.	25 ft.	15 ft.	25 ft.
Retail	50 ft.	40 ft.	40 ft.	None	15 ft.	25 ft.	15 ft.	25 ft.	15 ft.	25 ft.
Professional Office	50 ft.	25 ft.	25 ft.	15 ft.	None	None	None	25 ft.	None	25 ft.
Other Office	50 ft.	50 ft.	50 ft.	25 ft.	None	None	None	25 ft.	None	25 ft.
Institutional/Quasi-public	50 ft.	50 ft.	50 ft.	15 ft.	None	None	None	25 ft.	None	25 ft.
Industrial	25 ft.	100 ft.	100 ft.	25 ft.	25 ft.	25 ft.	25 ft.	None	25 ft.	15 ft.
Limited Access Highway	None	100 ft.	100 ft.	25 ft.	25 ft.	25 ft.	25 ft.	15 ft.	25 ft.	None

(1) - Residential Type A equals single family detached and semi-detached dwellings.

(2) - Residential Type B equals all other dwellings except those in institutional settings that include residential health care facilities, skilled nursing facilities and assisted living facilities. The Institutional category shall apply to these exceptions.

5. Plant densities and structure requirements. The density of plantings and the requirements for structures shall vary with the width of the buffer in accordance with the following and Table 31.8:
 - a. Any buffer 15 feet or less in width shall incorporate a fence or wall into the landscape design. The fence or wall shall be located on the side of the buffer with the most intensive use.
 - b. Fences and walls may be used to reduce the required width of and number of plants in the buffer in accordance with Table 31.9.

Table 31.8 Minimum Plant Density for Buffers

Required Buffer Width	Minimum Number of Required Plant Types per 100 Lineal Feet			
	Large or Medium Trees	Small or Ornamental Trees	Evergreens and Conifers	Shrubs
15 feet ⁽¹⁾	3	4	9	20
20 feet	4	6	10	24
25 feet	5	8	15	30
40 feet	6	9	18	36
50 feet	8	12	24	48
75 feet ⁽²⁾	10	15	30	60

⁽¹⁾ - Buffers of this width or less shall incorporate an opaque fence or wall.

⁽²⁾ - 20 thorny understory, 28 thorny shrubs, 28 hedgerow shrubs and 5 large or medium trees per 100 lineal feet may substitute for the plant types in this table for an agricultural buffer.

Table 31.9 Allowable Reductions in Buffer Widths and Plant Densities.

Required Buffer Width	Reduced Buffer Width with Fence or Wall ⁽¹⁾	Allowed Reduction in Number of Plants Required in Table 31.8 with Fence or Wall ⁽²⁾
15 feet	None	None
20 feet	15 feet	20%
25 feet	20 feet	20%
40 feet	30 feet	25%
50 feet	40 feet	25%
75 feet	75 feet	None

⁽¹⁾ - Fence or wall shall be opaque and sufficient to visually obstruct the view of persons at ground level.

⁽²⁾ - Allowed reduction shall be evenly distributed over all required plant types.

- c. Existing vegetation may substitute for all or part of the required buffer plantings and may be accepted in lieu of new plantings at the discretion of the Board of Jurisdiction.
6. Berm Specifications.
- a. Berms shall be required where the required landscape buffer width exceeds twenty-five (25) feet and there are parking lots that exceed fifty (50) parking spaces and/or loading areas of any size, except in locations that are superseded by the streetscape standards in §31.M. "Public view" shall mean viewable from a public or private street or a private driveway within a site that collects and distributes traffic between the public street and parking fields. Berms may be installed in other locations when designed as part of an overall landscape plan.
 - b. Berms shall be sufficiently high to hinder the view of the lower half of passenger vehicles parked in private parking lots provided for the convenience of customers or employees of a business establishment.
 - c. Berms shall not exceed a slope of one foot of rise for each three feet of run (1:3).
 - d. Any berm in excess of two (2) feet in height above the toe of the slope shall be adequately irrigated.
 - e. Continuous berms shall be avoided. Berms should be overlapped to provide buffering of any sight line perpendicular to the right-of-way. Berm overlapping should also be designed in locations to aid in site drainage.
 - f. Berms shall have a minimum top soil cover of six (6) inches in depth.
- E. Street and Cul-de-Sac Medians. Where a homeowner's or condominium association is established or intended to be established for the maintenance of common open space or storm water management basins, vegetated islands in the center of cul-de-sacs should be proposed that exhibit the following criteria:
- 1. All plant material shall be designed for a mature height under 30 inches (2.5 feet) or above 7 feet in order to allow for proper visibility.
 - 2. All plants shall be tolerant of drought, salt and reflected heat from pavement.
 - 3. Ground cover plantings shall be consistent with the degree of maintenance expected for the cul-de-sacs and of sufficient density to entirely cover the ground surface.

- F. Stormwater Facilities. Stormwater management areas including retention and detention basins, drainage ditches and swales, and wetland areas shall be landscaped in accordance with the standards in this subsection.
1. The screening of outfall structures and emergency spillways from public view is of particular importance in the landscape design. This may involve integration of these areas as aesthetic landscape features, naturalized wetland areas, or active and passive recreation areas, in addition to their stormwater management function.
 2. Detention and retention facilities should be located in cleared areas where reasonably feasible.
 3. Basins designed as naturalized wetland areas shall be planted with a fringe of wetlands plants such as sedges, rushes and forbs. The ground should be seeded with a wildflower or wet meadow grass mix but in certain circumstances may require sod or hydroseeding to stabilize the basin slopes. All plants shall be tolerant of typical flood plain and wetland conditions. See Table 31.6 for recommended wet conditions plants.
 4. Planting other than wildflowers and grasses shall not be located within ten (10) feet of low flow channels to facilitate drainage.
 5. Provisions for emergency access as well as general maintenance of the basins shall be reviewed by the Board of Jurisdiction. Plantings shall be designed to disguise yet not hinder vehicular access.
 6. Trees shall not be permitted upon any berm or dam associated with a stormwater management basin unless approved by the Board Engineer.
 7. All basin structures shall be designed to blend into the landscape in terms of construction materials, color, grading and planting.
- G. Open Space Landscaping. Common or public open space provided as a part of any cluster development shall be landscaped in one of the following ways, depending upon the intent of the use for the open space.
1. Conservation use. Conservation areas are appropriate in areas adjacent to and inclusive of natural features to be preserved, including wooded areas, water bodies, streams wetlands, and steep slopes. The following conservation use design guidelines shall apply:
 - a. Natural features shall be encompassed in open space areas rather than moved or eliminated in the development process.
 - b. Cleared areas shall be re-vegetated to a naturalistic appearance where appropriate.

- c. Re-vegetated areas may be seeded with a wildflower and/or meadow grass mix.
2. Recreational Open Space. The following landscape standards shall apply for recreational uses:
 - a. Grading and plantings of the recreation area shall remain consistent with the overall landscape design. The landscape design shall consist of massed deciduous and evergreen trees and berms to create spaces and views and ornamental trees and shrub masses for visual variety, interest and detail.
 - b. In general, plants shall be provided at the following rates:
 - 1) Shade trees - 15 per acre
 - 2) Evergreen Trees - 5 per acre
 - 3) Flowering Shrubs - 10 per acre
 - 4) Shrubs - 20 per acre

These quantities are exclusive of plants that may be required for landscape buffers pursuant to §31.D.

- c. Adjacent dwelling units shall be buffered from active play areas with a minimum buffer width of twenty-five (25) feet.
 - d. In the area where a recreation facility fronts onto a public or private street, fencing may be required to provide controlled access. The adjacent street tree planting shall be continued along this area, and any reverse frontage buffer planting shall be integrated with open space plantings.
- H. Parking and Loading Area Landscaping. The objectives of the landscape architectural treatment of all parking areas shall be to provide for safe and convenient movement of vehicles, to limit pedestrian/vehicular conflicts, to limit paved areas, to provide for screening from public right-of-way and buildings, to reduce the overall visual impact of parking lots, and to provide shade and reduce heat island effects. All non-residential parking lots and residential parking lots in excess of five (5) spaces shall conform to the following requirements:
1. The minimum width of landscape islands shall be eight (8) feet on the side of parking spaces and ten (10) feet between parking bays. If sidewalks are incorporated through the long axis of the landscape islands, their width shall be added to these requirements. Where the parking lot design will result in pedestrians cutting perpendicularly through landscape islands, sidewalks shall be installed at regular intervals through its short axis.

2. Landscape islands shall be planted with a combination of deciduous trees, evergreen and deciduous shrubs, and ground cover at the rate of six (6) large or medium trees, four (4) small or ornamental trees and sixty (60) shrubs per one hundred (100) lineal feet along the long axis of the island.
 3. Parking and loading areas shall be screened by a combination of berms, hedges, fences or walls. The minimum screening height at planting shall be three (3) feet and shall have a height of at least four (4) feet within three (3) years of installation. Loading dock areas shall be screened with shrubs a minimum height of six (6) feet at planting and shall achieve a height of at least ten (10) feet five (5) years after installation. Landscape buffers as otherwise required by §31.D may be used to meet these requirements.
 4. Parking lot lighting should be sited within landscape islands, however, without hindering necessary lighting coverage.
 5. No more than twenty (20) parking spaces shall be placed in one row of parking without an intervening landscape island.
- I. Site Protection and General Planting Requirements.
1. Topsoil preservation. Topsoil moved during the course of construction shall be redistributed on all re-graded surfaces so as to provide at least four (4) inches of even cover to all disturbed areas of the development and shall be stabilized by seeding or planting.
 2. Removal of debris. All stumps and other tree parts, litter, brush, weeds, excess or scrap building materials, or other debris shall be removed from the site and disposed of in accordance with New Jersey Department of Environmental Protection regulations. No tree stumps, portions of tree trunks or limbs shall be buried anywhere in the development. All dead or dying trees, standing or fallen, shall be removed from the site. If trees and limbs are reduced to chips, they may, subject to approval of the Township Engineer, be used as mulch in landscaped areas, provided they have been properly composted.
 3. Protection of existing plantings. Maximum effort should be made to save specimen plants. No material or temporary soil deposits shall be placed within four (4) feet of shrubs or ten (10) feet of trees designated to be retained on the preliminary and/or final plat.
 4. Slope plantings. Landscaping of the area of all cuts and fills and/or terraces shall be sufficient to prevent erosion, and all roadway slopes steeper than 3:1 shall be planted with ground covers appropriate for the purpose and soil conditions, water availability, and environment.
- J. Planting Specifications.

1. All shade and street trees shall have a minimum caliper as indicated in of two and one half (2.5) inches or as required by the accompanying tables herein, whichever is larger.
2. All ornamental and flowering trees shall have a minimum height of six (6) to eight (8) feet or as required by the accompanying tables herein, whichever is larger.
3. All evergreen trees shall have a minimum height of five (5) to six (6) feet unless otherwise determined by the Planning Board or Township Planner or as required by the accompanying tables herein, whichever is larger.
4. Shrubs shall have a minimum planting size as indicated in the relevant tables within this section of the ordinance, but in no instance shall the planting size be less than fifteen (15) inches in height. Ground cover shall have a minimum two (2) inch diameter pot.
5. Trees and shrubs shall be of nursery-grown stock and shall be insect and disease free. Plants should be well-formed and healthy nursery-grown stock. The root ball should be inspected to insure that it is undamaged and contains good quality soil and that it encompasses the entire root system.
6. The quality and size of plants, spread of roots, and size of balls shall be measured and determined in accordance with AANI Z60.1-1986 (or current addition) "American Standard for Nursery Stock" as published by the American Association of Nurserymen, Inc.
7. Trees and shrubs shall be planted according to the following recommended horticultural procedures:
 - a. Planting operations shall be performed during periods within the planting season when weather and soil conditions are suitable and in accordance with accepted local practices.
 - b. Deciduous and evergreen tree planting holes shall be a minimum of two (2) feet larger than the diameter of the root ball and dug to a depth that will place the trees in the same relation to finished grade as the tree bore to its pre-dug existing grade. The root ball shall sit on a convex mound of undisturbed sub-grade. Topsoil and subsoil shall be mixed thoroughly with sphagnum peat or humus before backfilling.
 - c. Shrub planting holes shall be a minimum of twelve (12) to eighteen (18) inches larger than the ball.
 - d. Plantings shall be set plumb and straight. The planting shall be set at such a level that, after settlement, a normal or natural relationship to the crown of the plant with the ground surface will be established. The plant shall be located in the center of the pit. Roots shall be spread

evenly throughout the hole and soil added carefully.

- e. The backfill soil shall be tamped in place and the hole filled to the top of the root ball. The added soil should be tamped gently, but not compacted, and an eight (8) inch soil saucer rim for the evergreen and deciduous trees and a three (3) inch saucer rim for the shrubs shall be created. A saucer rim shall not be needed when a shrub is planted in a mulched planting bed.
- f. Plants shall be thoroughly watered according to an approved watering schedule.
- g. Contractor shall report to the Township Engineer any soil or drainage conditions considered detrimental to the growth of the plant material.
- h. Insofar as it is practical, plant material shall be planted on the day of delivery. In the event this is not possible, the contractor shall protect stock not planted and water it appropriately. Plants shall not remain unplanted for longer than a three (3) day period after delivery.
- i. Plants shall not be bound with wire or rope at any time so as to damage the bark or break branches. Plants shall be handled from the bottom of the ball only.
- j. Tree trunks shall be wrapped with tree wrap which shall be removed after one (1) growing season.
- k. In the case of balled and burlapped trees, the burlap and bindings shall be removed from the top of the root ball. If synthetic, non-biodegradable burlap and twine or wire mesh is used, complete removal of these materials shall be required after setting plant material in hole.
- l. All trees and shrubs shall be delivered to the site unpruned. Each tree and shrub shall be pruned in accordance with standard horticultural practices to preserve the natural character of the plant. One-third (1/3) of the leaf area should be removed by thinning the branches and reducing their length. The central leader of the tree shall not be cut.
- m. Trees shall be supported immediately after planting. All trees greater than six (6) inches shall be guyed to anchors. Smaller trees shall be staked with two (2) wood stakes. The stakes shall have a minimum two (2) inch nominal diameter. The support wires between the stakes and the tree shall be a double strand of galvanized wire, with a minimum of No. 15 gauge. To protect the tree from injury, the portion of the support wire in contact with the tree shall be encased in reinforced rubber hosing or equal. To increase the visibility for safety, surveyor's flags shall be tied to the support wires.

- n. All planting beds and tree saucers shall be dressed to a minimum depth of three (3) inches with shredded hardwood mulch.
 - o. No plant, except ground covers, shall be planted less than two (2) feet from existing structures and sidewalks.
 - p. No deciduous or evergreen trees shall be planted closer than ten (10) feet to a sanitary or utility easement.
 - q. Underground irrigation systems shall be installed in all buffers greater than two (2) feet in height as measured from the toe of the slope to the top and other areas of mass planting.
 - r. All plant material shall be guaranteed by the contractor to be in a vigorous growing condition. Provisions shall be made for a growth guarantee of at least two (2) years for trees and a minimum of two (2) growing seasons for shrubs. Replacement of dead or diseased material shall be made at the beginning of each planting season. All replacements shall have a guarantee equal to that stated above.
- K. Tree Management Plan and Tree Replacement. The purpose of this section is to establish protective regulations for trees within the Township of Deptford in order to control problems of flooding, soil erosion, air and noise pollution; to protect the public health, safety and welfare of the citizenry of the Township; and to promote quality development in the Township. The intent of this section is to encourage the protection of the greatest number of trees within the tree protection zone and of large specimen trees throughout the Township, regardless of location.
- 1. Disturbance zone defined. That portion of a lot covered by existing or proposed buildings, structures or improvements and within a certain distance around same as noted below:
 - a. House or building - Twelve (12) feet from foundation wall.
 - b. Garage - Eight (8) feet from foundation wall.
 - c. Pool/ Cabana - Twelve (12) feet from foundation wall.
 - d. Driveway/ sidewalk - Five (5) feet
 - e. Septic fields - Ten (10) feet
 - f. Underground utility - Five (5) feet
 - g. Paved parking/drive aisle - Five (5) feet
 - h. Shed - Five (5) feet

- i. Improvement (other) - Five (5) feet
2. Applicability. With the exceptions as set forth in this Section, no person shall cut or remove, or cause to be cut or removed, any tree with a diameter of eight (8) inches or greater upon any lands in the Township unless the cutting or removal is accomplished in accordance with the provisions of this Section. At the time of a minor subdivision, preliminary major subdivision or site plan application submitted pursuant to this chapter, a Tree Protection Management Plan shall be submitted if there are ten (10) or more total non-specimen trees, or one (1) or more total specimen trees, cut or removed or proposed to be cut or removed during development. The provisions of this Section shall be applicable to all property owners in the Township, or their designees, with the following exceptions:
 - a. When the property in which the tree(s) are located is in excess of one (1) acre and the owner or his designee has submitted an application to the Deptford Township Planning Board or Zoning Board, as the case may be, for subdivision or site plan approval. For the purposes of calculating one (1) acre in a subdivision application, the total area of all lots shall be considered.
 - b. Any cultivated tree growing on property actually being used as a nursery, orchard or Christmas tree farm.
 - c. Any tree cut or removed for agricultural use of lands when operated in accordance with a farm conservation plan approved by the local Soil Conservation Service District or tree management plan prepared by a NJDEP approved forester (see sub-paragraph -3, herein), provided that a copy of such plan is filed with the Environmental Commission of Deptford.
 - d. Any tree, which in the opinion of the Township constitutes an immediate threat to the health or safety of the general public.
 - e. Any tree that is dead or diseased.
 - f. Pruning and removal of trees by utility companies to provide for line clearance of underground and overhead utilities.
 - g. The standards contained herein shall be considered the minimum standards to be met and maintained. Standards established by other Township ordinances, or by state and federal rules and regulations shall apply where those standards are more restrictive than the standards set forth herein.
 3. Woodland management plan. Plans for the harvesting of timber shall be in accordance with the standards and recommendations of the New Jersey Forest Service. A copy of such plan shall be filed with the Environmental

Commission of Deptford at least fifteen (15) days prior to the harvesting of timber.

4. Requirements of a Tree Protection Management Plan. A Tree Protection Management Plan shall include the following information:
 - a. Applicant's name, street address, telephone number;
 - b. Lot owner's name, street address, telephone number;
 - c. Lot owner's consent to the application;
 - d. Block and Lot number;
 - e. Location of all existing or proposed buildings, driveways, septic fields, easements, underground utility lines, and other improvements;
 - f. Existing or proposed rights of way;
 - g. Location of all proposed trees having a diameter of eight (8") inches or greater to be cut, removed, or damaged in such a way as to cause a need for their removal, noting each tree by its species, size and general health condition. If the area involved is greater than one (1) acre, a representative section of the woodland one hundred (100) feet by one hundred (100) feet shall be surveyed and the results extrapolated to the woodland area. This shall not preclude surveying the entire property for specimen trees.
 - h. Reasons for tree removal, including a description of the type of tree removal: thinning, selective cutting, clear cutting, aesthetic improvement cut.
 - i. Specifications for the removal of existing trees and for the protection of existing trees to be preserved;
 - j. Specific proposals for planting replacement trees, if applicable.
 - k. Existing topography within twenty (20) feet of the proposed disturbed area and proposed grading, if any;
 - l. Location of existing water courses, wetlands, and floodplains.
5. Review of applications for a Tree Protection Management Plan.
 - a. All applications for a Tree Protection Management Plan shall be immediately referred by the Administrative Officer to the Environmental Commission and Planning Board or Zoning Board of Adjustment, as the case may be.

- b. The Environmental Commission may provide a recommendation of approval or denial of the Tree Protection Management Plan application to the Board of Jurisdiction. Failure on the part of the Environmental Commission to provide a recommendation within twenty (20) days, provided that the Environmental Commission receives the application at least ten (10) days in advance of its regularly scheduled meeting, shall be deemed a recommendation for approval. In the event that the Environmental Commission recommends denial of an application, they shall specify, in writing, the reason(s) for their action. The Board of Jurisdiction shall review and consider the recommendations of the Environmental Commission and the recommendations shall be made a part of the record before either Board. The Board of Jurisdiction shall have the authority to approve or to deny the Tree Protection Management Plan as part of the subdivision and/or site plan review process.
- c. The Planning Board or Zoning Board shall review the application for a Tree Protection Management Plan and, if necessary, request professional review of the application and inspect the site.
- d. In the review of the application, the following factors shall be considered in deciding whether to recommend approval, approval with conditions or denial, of the Tree Protection Management Plan:
 - 1) Impact on the growth of remaining trees;
 - 2) Impact on existing drainage patterns;
 - 3) Impact on soil erosion or increased dust;
 - 4) Impact on the vegetative screening between adjacent land uses;
and
 - 5) Impact on woodland corridors, stream corridors, greenways, and wildlife habitat.
- e. There is hereby established a presumption that each and every tree of eight (8) inches of diameter or greater located within the tree protection zone or any specimen tree located anywhere on the lot shall be preserved at its location on the site. Each such tree located within the tree protection zone or each specimen tree may be removed only if the Board of Jurisdiction finds that the applicant has set forth:
 - 1) That it is necessary to remove trees which pose a safety hazard to pedestrian or vehicular traffic, or threatens to cause disruption of public services.
 - 2) That it necessary to remove trees which pose a safety hazard to a

building.

- 3) That it is necessary to remove diseased trees, trees infested with destructive insects liable to infect healthy trees on the subject or adjacent property, or trees weakened by age, fire or other injury.
 - 4) That it is necessary to observe good forestry practices, i.e., the number of healthy trees that a given parcel of land will support when documented by a report prepared on behalf of the applicant by a professional forester or a certified landscape architect.
 - 5) That it is necessary for the reasonable development of the site pursuant to other provisions of this ordinance.
 - 6) Other conditions which, in the judgment of the Planning Board/Zoning Board, warrant the removal of a tree.
- f. No building permit shall be issued until the applicant has obtained approval and fulfilled any conditions attached thereto of its Tree Protection Management Plan application. Such approval or approval with conditions may be included in the actions of the Board of Jurisdiction in approving a site plan or subdivision application.
6. Planting of new trees and replacement of trees.
- a. Where the Planning Board or Zoning Board, whichever has jurisdiction, determines that it is impossible to retain trees in the tree protection zone, or any specimen tree as defined by this Section, due to cutting, filling, or other construction activity, the applicant shall replant one (1") inch of new tree diameter for every four (4") inches of existing tree diameter removed. Replacement trees should be shown on the Tree Protection Management Plan for review. New replacement trees should have a minimum diameter of two and one-half (2.5) inches measured six (6) inches above the ground. Replanting should be done according to the standards specified by the American Nurserymen's Association.
 - b. Criteria for the selection of new trees. When an applicant is required to replace trees as described above, the applicant should replace the trees with the same species that were removed or, with the approval of the Planning Board/ Zoning Board, choose other tree species, preferably native to Deptford Township. Wherever possible trees that serve as important food sources for wildlife such as oak, walnut, cherry, and holly should be selected except in those areas where specific problems caused by falling nuts and fruits would occur. In selecting replacement trees, the following positive criteria should be used. These guidelines should also be followed in choosing trees proposed to be retained or cleared.

- 1) Species longevity;
 - 2) Native to the area;
 - 3) Hardiness (wind firmness, climate requirements, characteristics of soil to hold tree);
 - 4) Resistance to insect and disease attack and to pollution;
 - 5) Aesthetic values (autumn, coloration, type of flowers or fruit, form characteristics);
 - 6) Low maintenance and care (pruning, etc.);
 - 7) High wildlife values;
 - 8) Climate protection of pedestrians, vehicles, and buildings;
 - 9) Size at maturity;
 - 10) Effect of soil retention and erosion control; and
 - 11) Value as a noise buffer.
- L. Protection of Existing Trees. Applicants shall exercise due care to protect trees to be retained from damage during construction. The following procedures shall be observed in order to protect retained trees.
1. Protection from mechanical injury.
 2. Prior to any grubbing or clearing, all trees to be retained within twenty-five (25) feet of a building and all other improvements should be protected from equipment damage by enclosing the drip lines of the trees with sections of snow fence or boards, wired together. All exposed roots and low hanging branches should be equally protected. Groups of trees may be protected by fencing the drip lines of the entire tree mass to be retained.
 3. Heavy equipment operators should not damage existing tree trunks and roots. Feeder roots should not be cut closer than the distance of the drip line from the tree trunks and should be cut with pruning shears or other tools which will make a clean cut.
 4. Tree trunks and exposed roots accidentally damaged during construction should be protected from further damage. Damaged branches should be sawed off at the branch collar. No shellac or pruning paint should be used. When the portion of the tree to be removed is diseased, the pruning equipment should be dipped in alcohol or disinfectant prior to use on another tree to prevent the spread of the disease.

5. Deciduous trees should be given an application of liquid slow release, low nitrogen, all purpose fertilizer to aid in their recovery from possible damage caused by construction operations. Such application should be made at a distance of one foot from the trunk to the drip line and should be made as soon as construction is completed and again one (1) year after the first application has been made.
6. Trees should not be used for roping, cables, signs or fencing. Nails and spikes should not be driven into trees.
7. The area around the base of existing trees should be left open to provide access for water and nutrients. Therefore, no impervious cover, or storage of equipment, materials, debris, or fill should be allowed within the drip line of any existing tree to be retained.
8. Protection from grade change. If an increase of the grade is proposed, the applicant should install either:
 - a. A system of gravel and drain tiles at the old soil level opening into a dry well built around the trunk and designed for each tree, individually fitting the contour of the land so that it drains water away from the tree trunk.
 - b. A retaining wall between the existing grade and the higher grade. A detailed plan for each proposed retaining wall should be provided.
 - c. If a decrease of the grade is proposed, the applicant should initiate one (1) of the following methods to protect the trees:
 - d. Terracing the grade at the drip line and out from the tree.
 - e. A retaining wall between the existing grade and the lower grade. A detailed plan for each proposed retaining wall should be provided.
9. Protection from excavation. When digging trenches for utility lines and other similar uses, the applicant should adhere to the following, listed in order of preference:
 - a. If possible, trenches should bypass the root area.
 - b. If it is impossible for the trenches to bypass the root area, trenches should be tunneled under the trees.
 - c. If trenches must be dug along the side of a tree, the following precautions should be observed:
 - 1) Trenches should be no closer to the trunk than half the distance from the drip line.

- 2) As few roots as possible should be cut.
 - 3) If roots are cut, they should be cut as cleanly as possible.
 - 4) The trench should be backfilled as soon as possible, avoiding soil compaction.
10. Protection during construction clean-up.
- a. All construction debris should be hauled away. No such debris should be burned or buried.
 - b. Fences and barriers around trees should be the last thing to be removed from the site, prior to the installation of final landscaping or building occupancy.
- M. Streetscape Standards. Retail, office, multi-family and age-restricted residential and institutional uses located on arterial roads as depicted on the Circulation Element of the Master Plan shall be designed utilizing the Streetscape Design Standards of the Township of Deptford, herein incorporated by reference. In general, the design shall incorporate a dual purpose sidewalk suitable for pedestrians and bicyclists, masonry piers and solid masonry wall sections or picket fencing, street trees, low shrubs and berms, ornamental trees, ornamental street lighting, seating, bicycle racks, perpendicular sidewalks connecting the street sidewalk with the building entrance, and building signage.

Section 5. §40, Reverse Frontage Lots, shall be amended as follows:

§ 40 Reverse frontage lots.

Residential lots with reverse frontage on a collector or arterial road shall be required to contain a landscaped buffer between the rear or side yard and the road that shall be in addition to the minimum required yard depth. The landscaped buffer shall be a minimum of fifteen (15) feet in depth from the right-of-way or as indicated in Table 31.7, whichever is larger. Driveway access shall only be permitted from the lowest order street that provides access to the property. Along the street frontage without direct driveway access, no fencing shall be placed within fifteen (15) feet of the right-of-way. Any fencing that is installed must have a man gate opening to the high order street without direct driveway access to insure that pedestrian access is provided for maintenance of the required buffer. Corner lots with just two (2) street frontages are not required to place a gate in the fencing facing the street without direct driveway access. Landscaping within the required street buffer should consist of existing vegetation when it can be properly preserved during construction. In the case where existing vegetation can not be preserved or if there is to be an insufficient existing vegetative screen preserved within this buffer, the Board of Jurisdiction may require additional landscaping to be provided, including

evergreen and deciduous trees and shrubs.

Section 6. Continuation. In all other respects, the Unified Development Ordinance of the Township of Deptford shall remain unchanged.

Section 7. Severability. If any portion of this Ordinance is for any reason held to be unconstitutional or invalid by a court of competent jurisdiction, such decision shall not affect the validity of this Ordinance as a whole, or any other part thereof. Any invalidation shall be confined in its operation to the section, paragraph, sentence, clause, phrase, term, or provision or part thereof directly involved in the controversy in which such judgment shall have been rendered.

Section 8. Interpretation. If the terms of this Ordinance shall be in conflict with those of another Ordinance of the Code of the Township of Deptford, then the restriction which imposes the greater limitation shall be enforced.

Section 9. Repealer. All ordinances or parts of ordinances which are inconsistent with the provisions of this Ordinance are hereby repealed to the extent of such inconsistency only.

Section 10. Enactment. This Ordinance shall take effect upon the filing thereof with the Gloucester County Planning Board after final passage, adoption, and publication by the Township Council of the Township of Deptford in the manner prescribed by law.



TOWNSHIP OF DEPTFORD

MAYOR PAUL MEDANY

ATTEST:

DINA L. ZAWADSKI, TOWNSHIP CLERK

CERTIFICATION

The above Ordinance was introduced and passed upon first reading at a meeting of the Township Council of the Township of Deptford held on the 1st day of February, 2010 and will be taken up for final consideration and passage at the Work Session Meeting of Mayor and Council of the Township of Deptford to be held at the Municipal Building, 1011 Cooper Street, Deptford, New Jersey, Gloucester County, on the 22nd day of February, 2010 at 7:00 P.M. or as soon thereafter as the matter can be reached at which time any person interested shall be given an opportunity to be heard.

DINA L. ZAWADSKI, TOWNSHIP CLERK

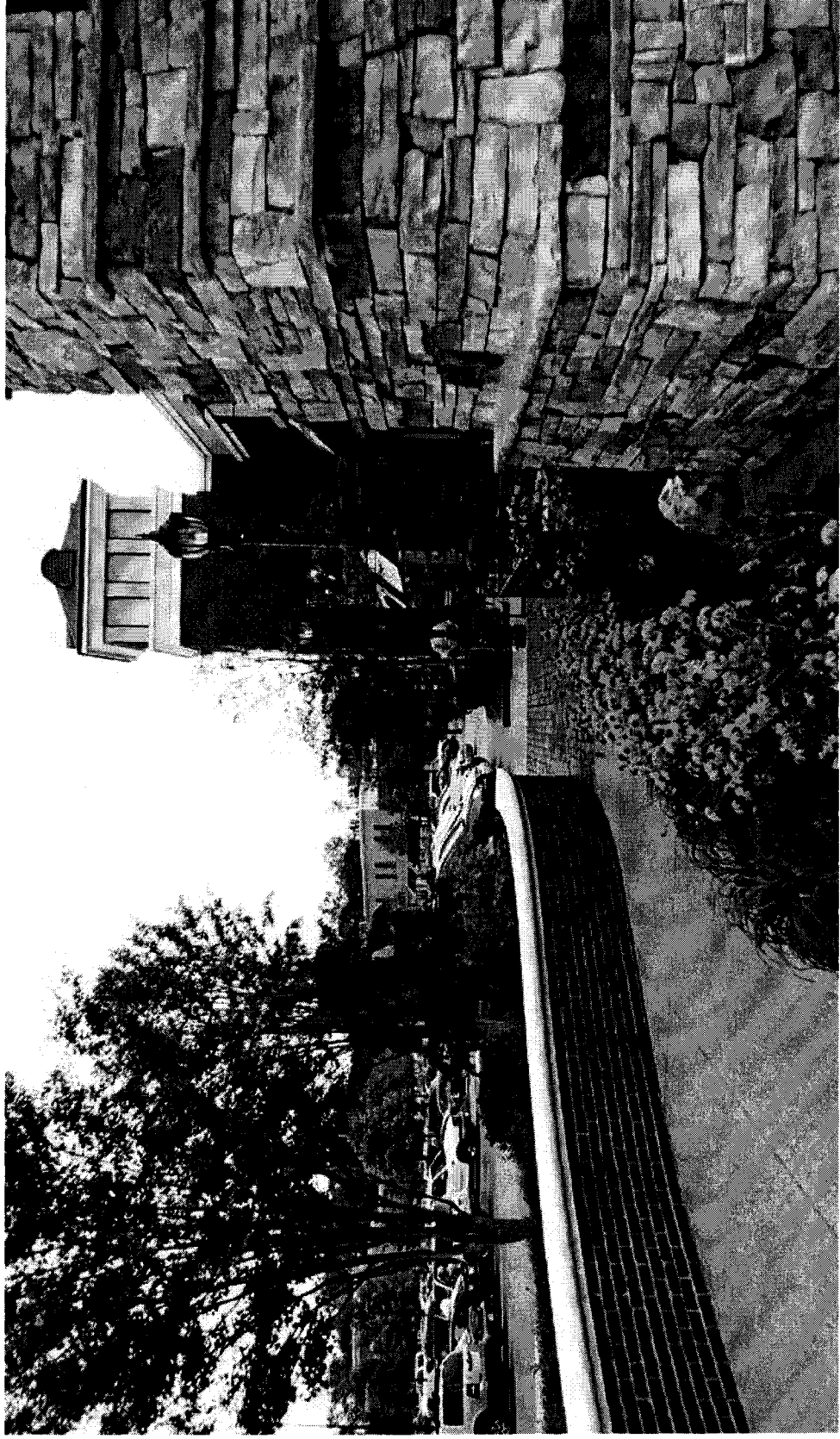
Introduction

RECORD OF VOTE						
Council Member	Resolution No.	Ordinance No.	Yes	No	Abstain	Absent
		O.1.10				
Medany						
Hufnell						
DiMarco						
Lamb						
Love						
Schocklin						
Scott						

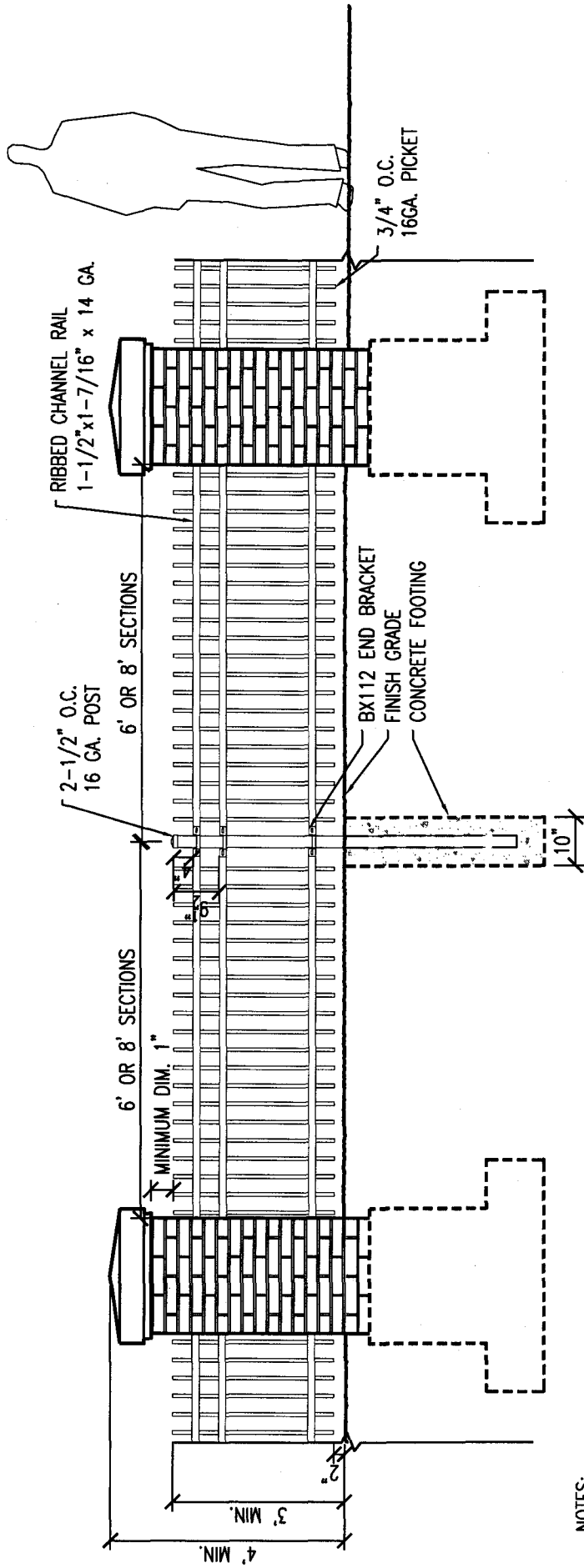
Adoption

RECORD OF VOTE						
Council Member	Resolution No.	Ordinance No.	Yes	No	Abstain	Absent
		O.1.10				
Medany						
Hufnell						
DiMarco						
Lamb						
Love						
Schocklin						
Scott						

TOWNSHIP OF DEPTFORD
STREETSCAPE DESIGN STANDARDS



JANUARY 19, 2010

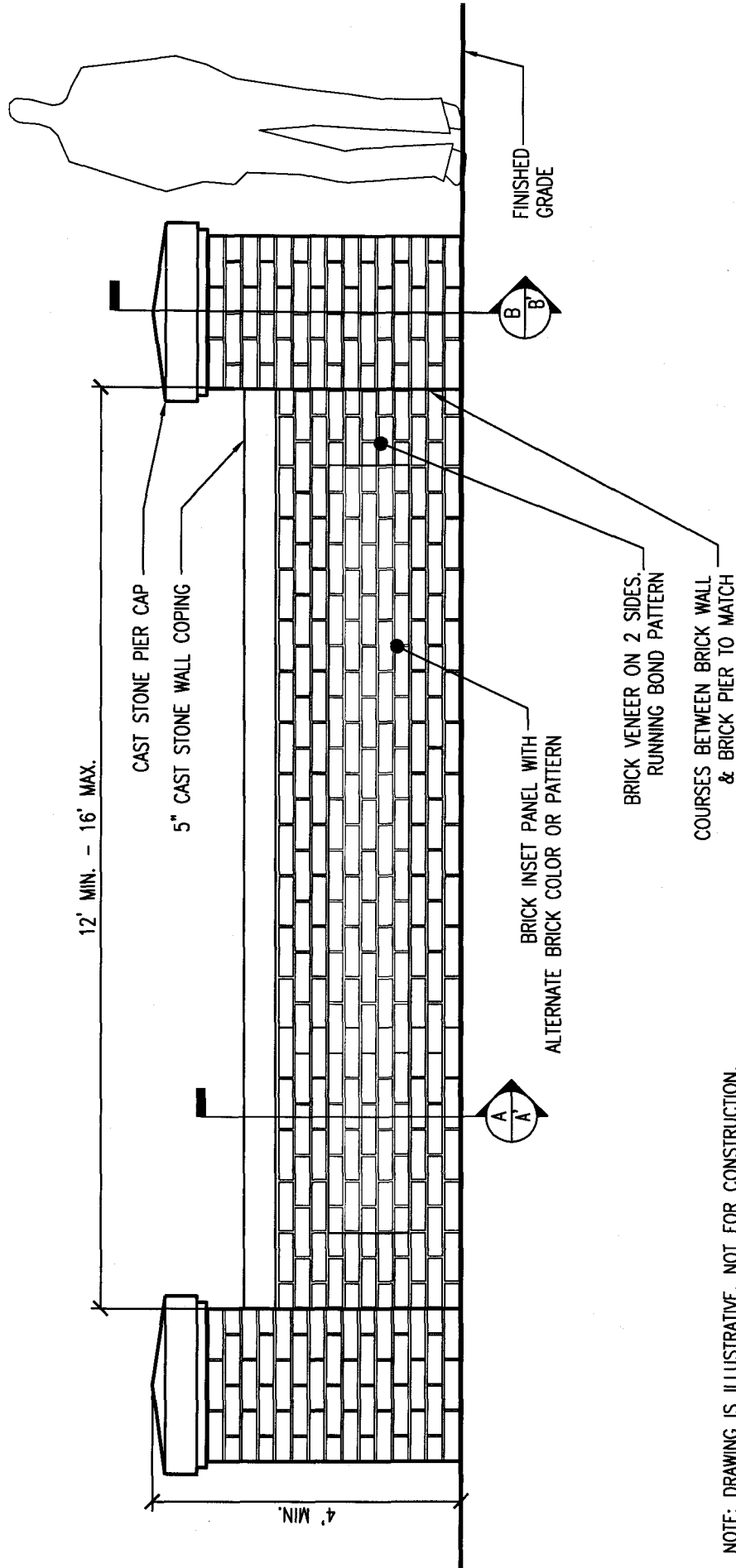


NOTES:

1. FENCE MATERIAL: STEEL OR ALUMINUM WITH BLACK POWDERCOAT FINISH. PICKETS WELDED TO UNDERSIDE OF HORIZONTAL U-CHANNEL RAIL WITH NO VISIBLE WELDS. PICKETS SHALL NOT BE ATTACHED WITH MECHANICAL FASTENERS
2. INSTALL PER MANUFACTURER SPECIFICATIONS
3. FENCE SHALL BE SET HORIZONTAL AND LEVEL ADHERING TO THE MINIMUM DIMENSION OF 1" BETWEEN COLUMN CAP AND TOP OF FENCE ON ONE SIDE WHERE NEEDED.
4. CONTRACTOR TO SUBMIT SHOP DRAWINGS OF ALL FENCING AND MOUNTING METHODS FOR APPROVAL BY THE ENGINEER.
5. DRAWING IS ILLUSTRATIVE. NOT FOR CONSTRUCTION.

4' Brick Pier Fence and 3' Steel Fence

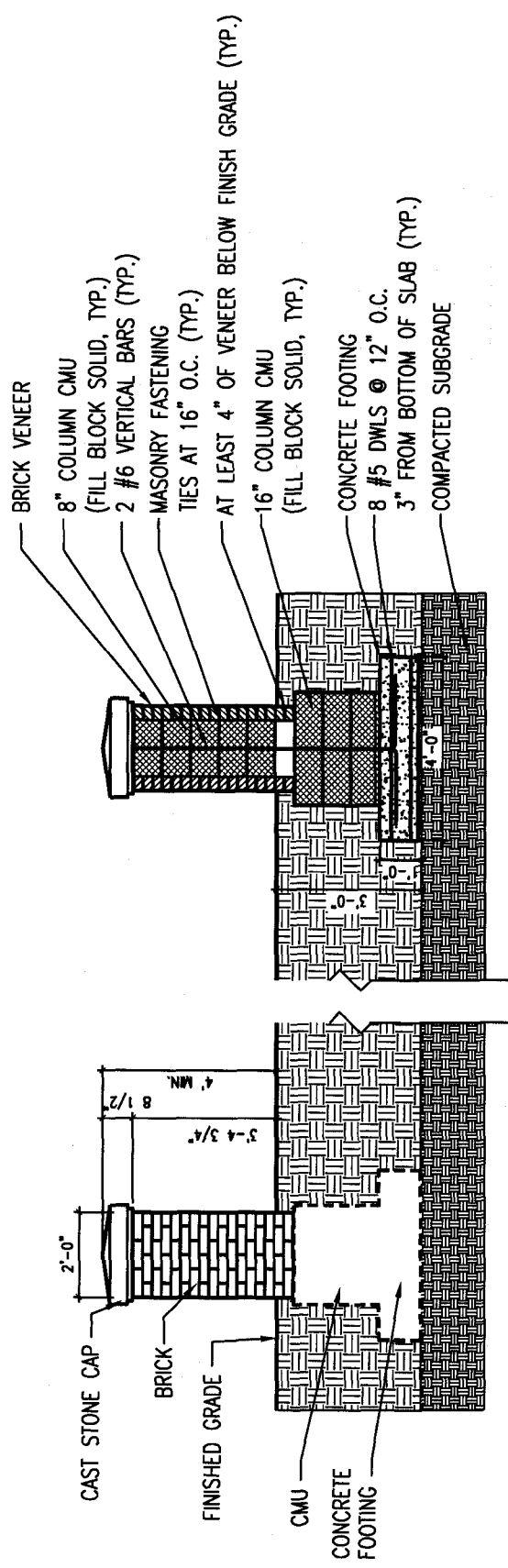
Deptford Streetscape Guidelines January 7, 2010



NOTE: DRAWING IS ILLUSTRATIVE. NOT FOR CONSTRUCTION.

Brick Wall Elevation

Deptford Streetscape Guidelines January 7, 2010

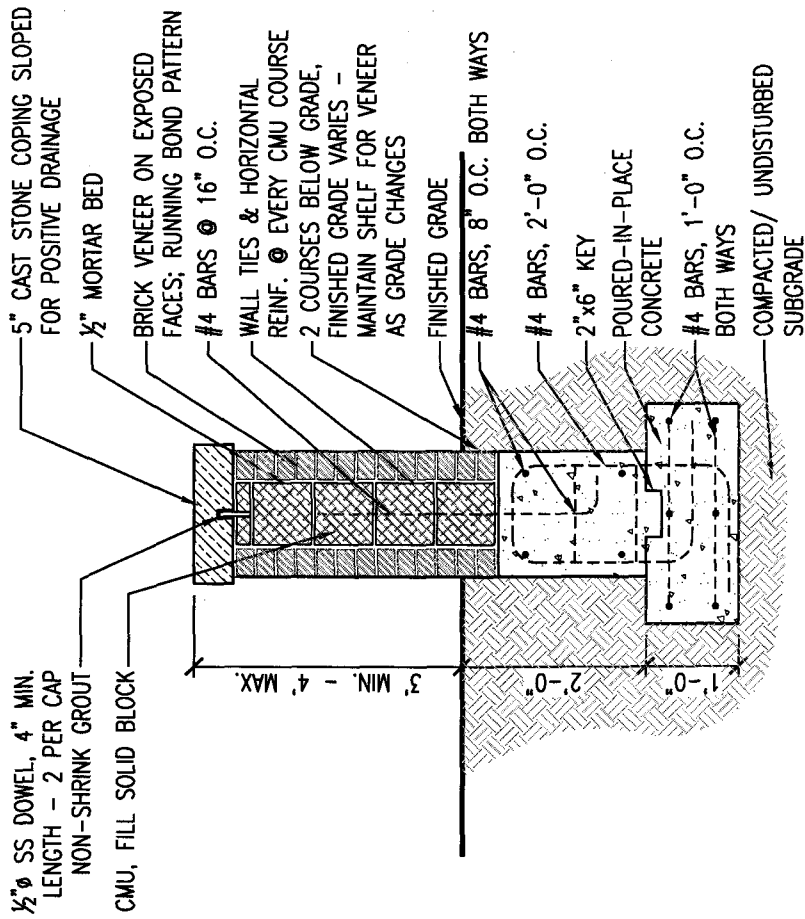


NOTES: 1. SHOP DRAWINGS OF BRICK PIERS, CAST STONE CAPS AND BRICK SAMPLES SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE TOWNSHIP ENGINEER

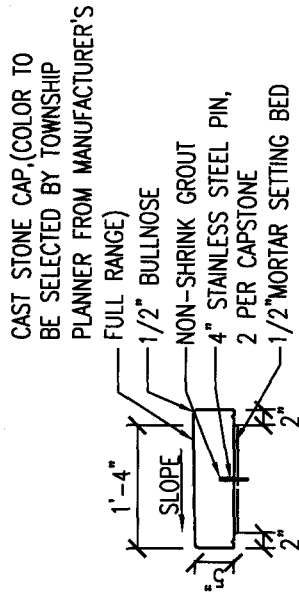
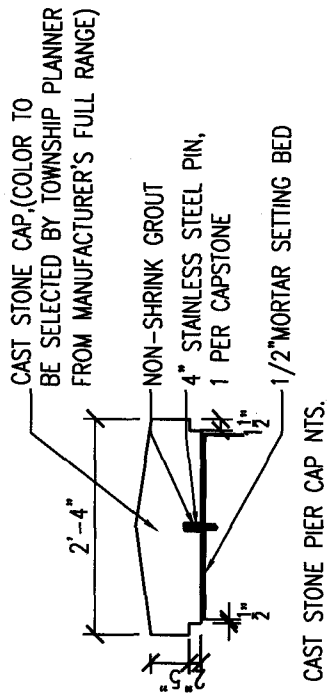
2. DRAWING IS ILLUSTRATIVE. NOT FOR CONSTRUCTION.

Brick Pier Elevation and Section

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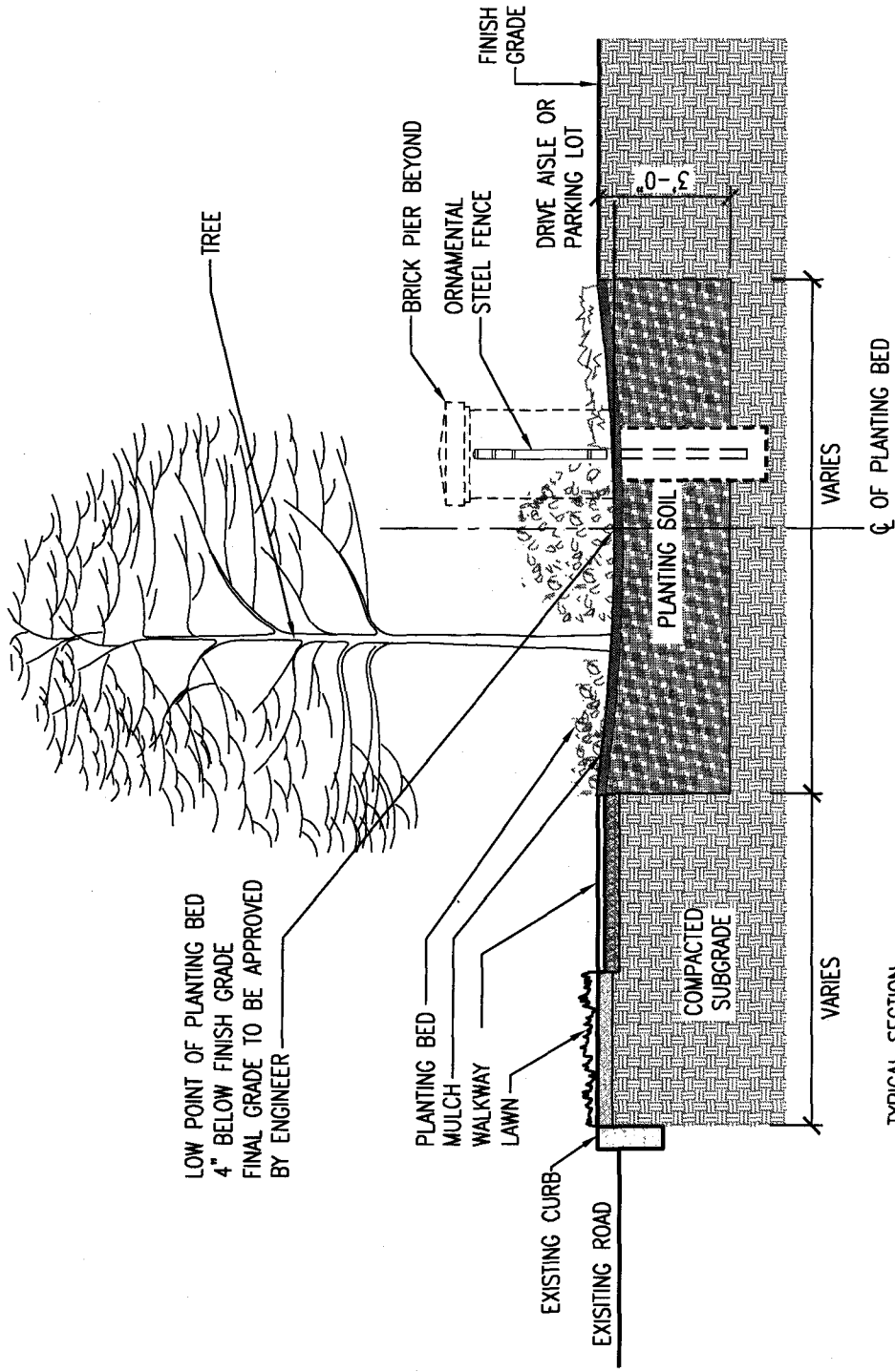


SECTION A-A'



Wall Section, Coping and Pier Cap

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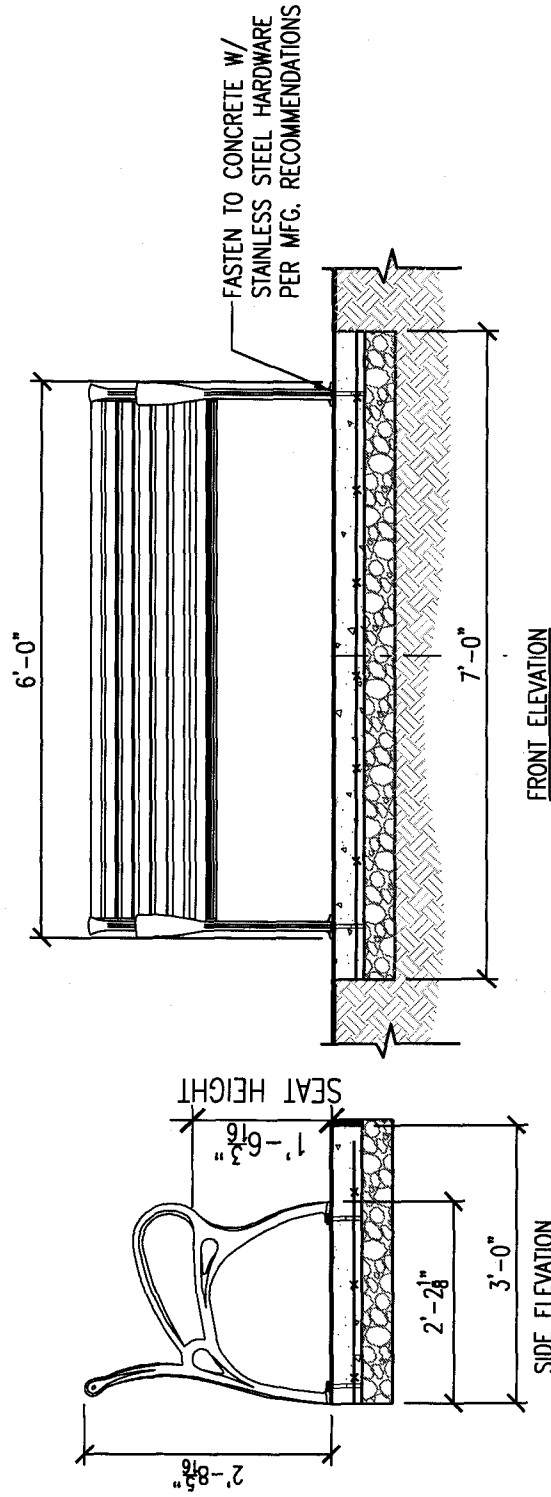
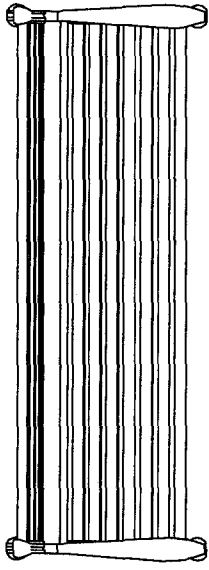
TYPICAL SECTION

NOTE: DRAWING IS ILLUSTRATIVE. NOT FOR CONSTRUCTION.

Typical Streetscape Section

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BENCH:
 KEYSTONE RIDGE DESIGNS
 670 Mercer Road,
 Butler, PA 16001
 or APPROVED EQUAL
 MODEL: SC26 - 6' BENCH
 COLOR: BLACK
 FINISH: KEYSHIELD POWDER COAT



- NOTE: 1. CONTRACTOR IS RESPONSIBLE TO PROVIDE DETAIL OF ANCHOR BOLT INSTALLATION INTO CONCRETE.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
 3. CENTER BENCH IN CONCRETE PAD; ALIGN BACK OF BENCH WITH BACK OF CONCRETE PAD
 4. DRAWING IS ILLUSTRATIVE. NOT FOR CONSTRUCTION.

Bench

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